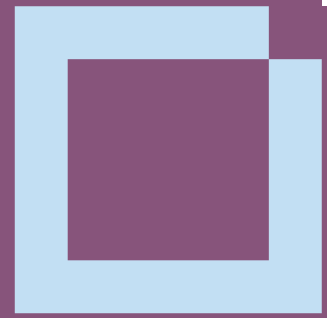


Strathaven Conservation Area Management Plan



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Figure 1-1: Strathaven, Common Green, February 2013 (Peter Drummond Architects)

1.0 Introduction

1.1 In recognition of the quality of the historic townscape and, as part of a series of initiatives supporting an application for funding under a Conservation Area Regeneration Scheme (CARS), the Rural Development Trust in partnership with South Lanarkshire Council, Avondale Civic Society, Strathaven Community Council, Strathaven Business Association and Rotary Club of Strathaven (Strathaven Conservation Area Regeneration Scheme Partnership), appointed Peter Drummond Architects to prepare a Conservation Area Management Plan (CAMP). This work was carried out in 2014.

1.2 The Strathaven Conservation Area Management Plan identifies the special character of Strathaven's historic core, assesses how it might be vulnerable to change and sets out guidelines for future development. It is an essential reference tool for anyone managing or developing properties within Strathaven. It seeks to allow for new development whilst ensuring that the historic townscape is protected and that a strong local community is fostered. It sets out policies for the continued preservation and enhancement of the Strathaven Conservation Area, the delivery of which will be considered and determined by South Lanarkshire Council. The CAMP and its associated Design Guide is a material consideration in the determination of all applications for planning and listed building consent within the Strathaven Conservation Area.

The conservation area

1.3 Strathaven Conservation Area was designated by East Kilbride District Council in June 1976. The conservation area was created because Strathaven was considered a good example of a small Burgh with a medieval street pattern that had then been overlain by Georgian and Victorian urban extensions.

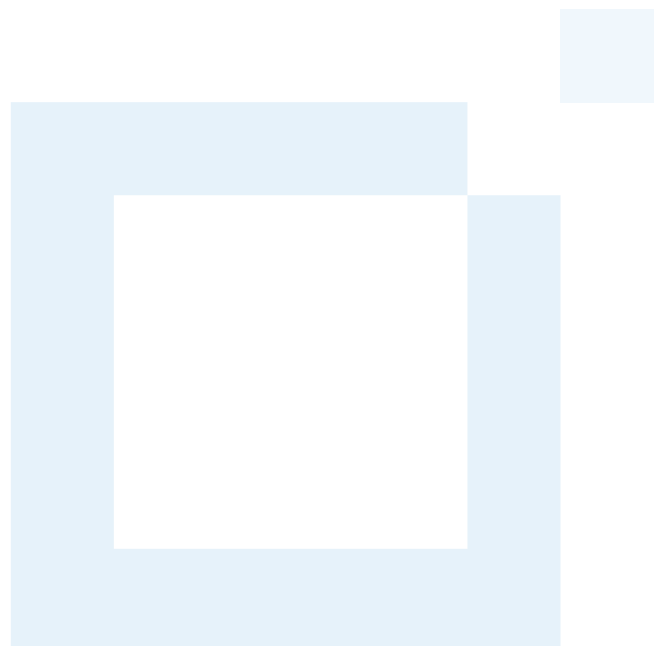
1.4 Strathaven Conservation Area is located at the heart of the town, being roughly centred on the area around the Common Green. The area takes the form of a series of spokes radiating out from this hub. Its southern boundary is defined by the former railway line before heading north-west along Todshill Street. It then steps around the back of the gardens of 24 Todshill where it heads along the back of the properties to the south of Kirk Street. Here it turns to the north before heading back into the town along the back of the properties addressing Townhead Street and Green Streets. The boundary then extends in a northern peninsula that takes in Barn Street and Glasgow Road before branching at right angles to take in the properties along Commercial Road. Here the boundary heads south to the rear of the properties on the east side of Waterside Street before crossing Castle Street to the south of the Telephone Exchange to take in Strathaven (or Avondale) Castle and the Town Mill.

1.5 Within the conservation area there are 383 buildings. Of these, one is a Scheduled Monument, 13 buildings (including the Boo Backit Brig) are category 'B' listed and 22 are category 'C' listed, reflecting the national, regional and local importance of the buildings and structures. The largest proportion of these buildings is located within the vicinity of the Cross, Common Green and Green, Townhead and Waterside Streets. The majority of the unlisted buildings are more modest buildings which make a contribution to the spatial integrity of the aforementioned streets.

1.6 The main effects of designation as a conservation area are:

- (a) South Lanarkshire Council has to have special regard to maintaining the character and amenity of the area when determining applications for planning and listed building consent;
- (b) Planning applications likely to affect the character of the area will be advertised for public comment;
- (c) The total or substantial demolition of unlisted buildings within conservation areas requires consent;
- (d) Trees within the conservation area cannot be lopped, topped or felled without prior written notification to the planning authority to allow it to consider the request.

Conservation area status does not prevent change, but rather manages it in a sustainable manner.



Statutory and advisory context

1.7 The current national legislation for conservation areas is the Planning (Listed Buildings and Conservation Area) (Scotland) Act 1997 which provides the framework for the designation of conservation areas. The pertinent sections of the Act are Section 61 which defines a conservation area as “an area of special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance”; and Section 63 of the Act which states that “it should be the duty of the planning authority to formulate and publish, from time to time, proposals for the preservation and enhancement of any parts of their district which are conservation areas.”

1.8 Additional guidance is included in Scottish Government’s Planning Advice Note PAN71 - Conservation Area Management which complements national policy supplying further advice on the management of conservation areas. Further advice is supplied in:

- Scottish Planning Policy (SPP) June 2014
- Historic Environment Scotland Policy Statement June 2016
- Historic Environment Circular 1 (2016)
- Planning Advice Note 2/2011: Planning and Archaeology
- Scottish Executive, Creating Places – A Policy Statement on architecture and place for Scotland (2013)

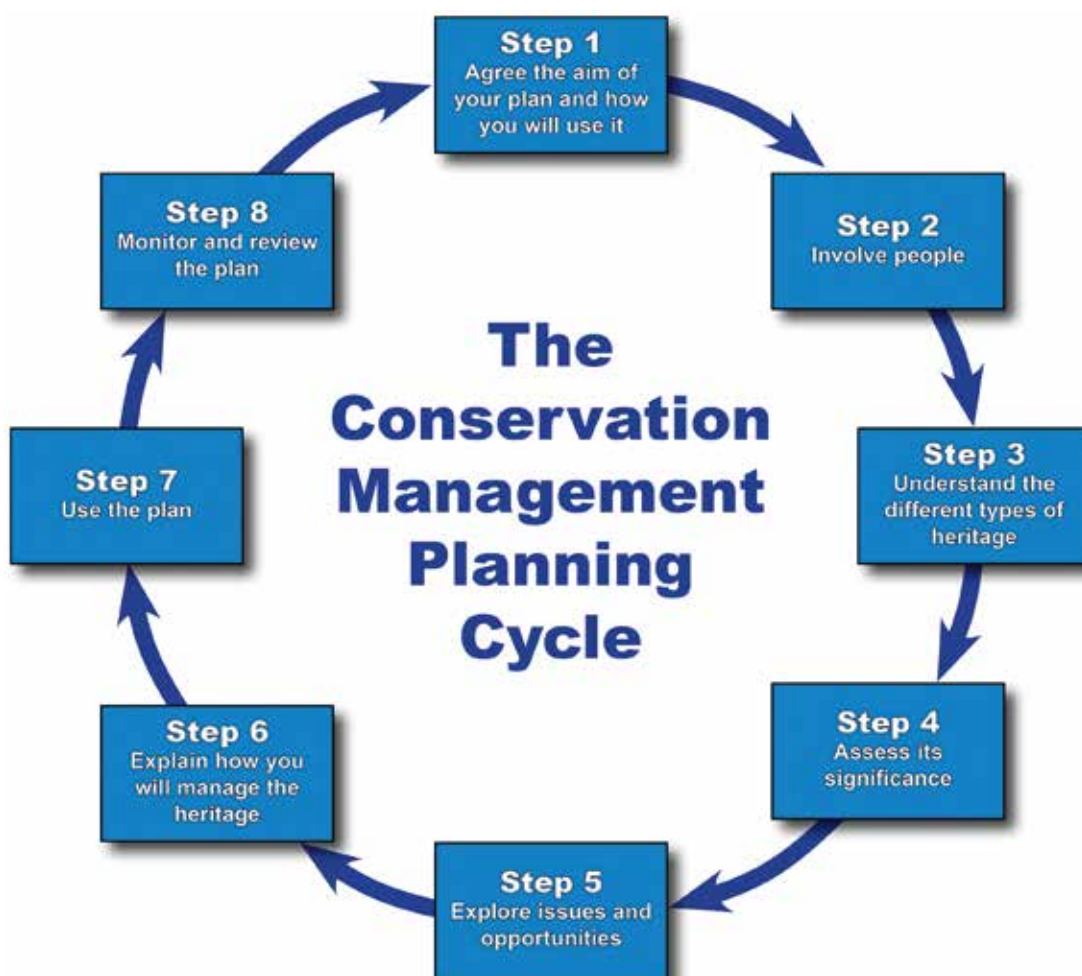


Figure 1-2: Conservation Management Methodology (HLF, 2007)

The Conservation Area Management Plan (CAMP)

1.9 The objective of a Conservation Area Management Plan is to identify what is important about an historic area, building, site, or other place in order that it is properly protected and passed on to future generations in good order. It explains why the heritage should matter to the community and sets out what should be done to look after it in any future use, alteration, development, management or repair. Figure 1-2 details the steps undertaken to achieve this goal.

The South Lanarkshire Local Development Plan

1.10 The Strathaven Conservation Area Appraisal (CAA) and Strathaven Conservation Area Management Plan (CAMP) are both non statutory 'Supplementary Planning Guidance' and a material consideration in the determination of planning and listed building applications affecting the conservation area. Owners, agents, and stakeholders within the conservation area are required to take account of the CAMP's policies and advice.

1.11 Provision is made under Section 22 of the Planning etc. Scotland Act 2006 for the preparation of statutory and non-statutory supplementary guidance in connection with a local development plan to provide more guidance on specific policy areas. The CAMP should therefore be read in conjunction with the adopted South Lanarkshire Local Development Plan and its associated statutory Supplementary Guidance (SG), in particular the Supplementary Guidance on the Natural and Historic Environment and on Development Management, Placemaking and Design. These form part of a linked series of development management tools that will safeguard the character and amenity of our built and natural environment.

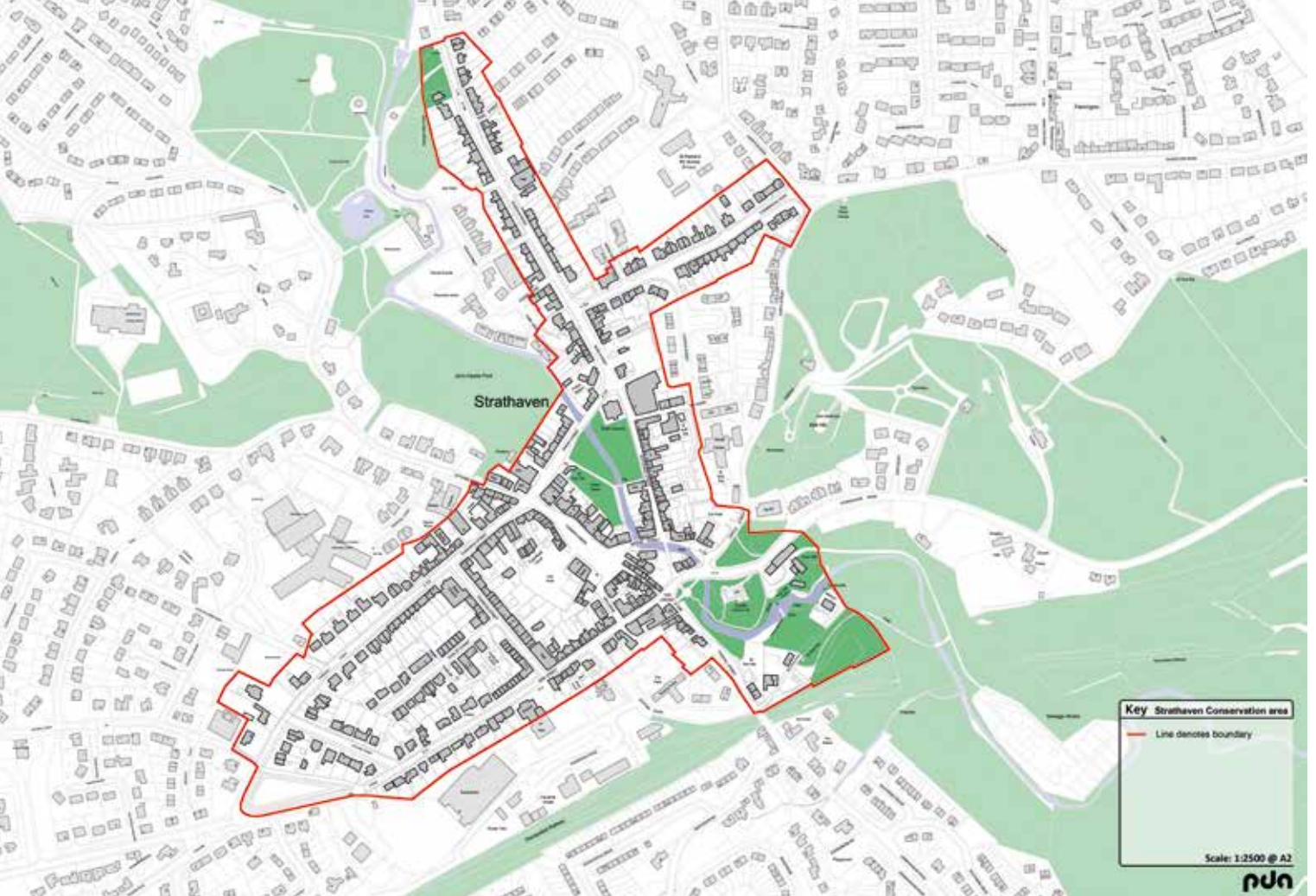


Figure 2-1: Strathaven Conservation Area. Baseline mapping data reproduced by permission of Ordnance Survey on behalf of HMSO. Crown copyright and database right 2014. All rights reserved. Ordnance Survey Licence number (100020730 2008).

Conservation Area Appraisal (CAA)

1.12 Decisions on how best to care for the built heritage need to be based on a full understanding of its historical, architectural, and wider value. The Strathaven Conservation Area Management Plan is therefore underpinned by the Strathaven Conservation Area Appraisal. The appraisal explores many issues including historic development, street pattern, architecture, and building materials.

1.13 A detailed assessment has been carried out on:

- Location and Setting
- Historical Development
- Topography
- Gateways
- Street Pattern
- Plot Pattern
- Open Space
- Circulation/Permeability
- Views and Landmarks

- Activities and Uses
- Architectural Character
- Public Realm
- Building Materials
- Condition
- Townscape Detail
- Landscape and Trees
- Public Art and Lighting
- Listed and Unlisted Buildings
- Scheduled Monuments
- Character Zones
- Gap Sites
- Archaeology

1.14 The significance of these matters is defined and the key features of the conservation area established. This has provided the framework for the Strathaven Conservation Area Management Plan (CAMP) and established the key issues which the CAMP should seek to address.

2.0 Key issues

2.1 The conservation, alteration, maintenance, and re-use of historic properties and sites within conservation areas must be carried out in a careful, sympathetic manner if an adverse impact is to be avoided, particularly as a result of demolition. A balance has to be sought between the conservation value of the townscape, historic property or site and the need for redevelopment or intensification of use. The objective, with existing historic fabric, should be to find a new economic use that is viable over the longer term with minimal impact on the special character of the conservation area.

Main challenges identified in the Conservation Area Appraisal (CAA)

2.2 Loss of architectural detail – Original architectural details form the key defining characteristic to the appearance and value of the conservation area. Their retention and repair is the key criterion to the area's preservation and enhancement. Insensitive shopfront alterations including inappropriately sited roller shutters, replacement doors and windows, removal of cast iron decorative railings and gates have to some degree eroded the special character of the conservation area.

2.3 Insensitive alterations and insertions – the roofscape of the buildings in the conservation area is highly visible from several viewpoints. However, there have been many alterations and insensitive insertions into the historic roof fabric. New dormers or even entirely new roofs to accommodate further floorspace, have had an impact on the proportions of the original property.

2.4 Use of inappropriate materials – Whilst some of the historic fabric is in good condition where modern materials have been introduced for purposes of repair this has led to a loss of the special character of the conservation area. Examples include the replacement of timber sash and case windows with unsympathetic UPVC or aluminium framed windows of differing proportions, inappropriate render and repairs utilising cement based products or linostone and insensitive roof repairs using incorrectly sourced slate or other roofing products.

2.5 Gap sites – the strong sense of spatial enclosure that characterised the original Medieval and Post Medieval heart of the town around the Cross has been undermined by the demolition of buildings from 1911 onwards. These gap sites have collectively undermined the spatial enclosure of the Cross to the extent that it is difficult to appreciate that it was once the historic heart of Strathaven. The buildings that lined the eastern half of the Cross and Todshill Street have been replaced by an attractive heavily wooded park but the unkempt gap site at the top of Strait Close, along with the recently formed gap site resulting from the demolition of the Castle Tavern in 2011, seriously erode the spatial enclosure and value of what remains of this historic grouping.

2.6 The late 18th century extensions to the medieval heart of the town also suffer from two prominent gap sites. The first of these gap sites is the one on the west side of the Common Green that now comprises the Common Green car park. This gap site resulted from the demolition in 1969 of a late Georgian villa that housed the Bank of Scotland and the adjacent Commercial Garage. This has resulted in a large gap that erodes the sense of spatial enclosure along the south-west side of Common Green.

2.7 Another gap site is the one created in 2013, directly to the north-east of Avendale Old Parish Church. This was caused through the demolition of the former stable block that acted as part of an urban set piece around the church. The loss of the stable block has undermined the set piece as well as eroded the strong sense of spatial enclosure at the junction of Kirk and Thomson Street. However it is noted that planning permission has now been granted for a flattened development at the site.

2.8 Public realm – the impact of traffic management schemes including road markings, traffic signage as well as road and pavement maintenance has a significant effect on the special character of the conservation area. In particular there appears to be a surfeit of traffic signage within the heart of Strathaven particularly around the Common Green. This combined with un-coordinated street furniture has led to a high degree of street clutter within the heart of Strathaven.

Main issues arising from Conservation Area Appraisal (CAA)

2.9 Historic places are a product of a process of refinement and change over generations to meet the needs of existing populations. Pressure for change can, however, present difficult issues that can erode the special character and distinctiveness of a place. Economic changes, population movement, and other issues can result in obsolescence, neglect and deterioration of the physical fabric and erosion of their character and distinctiveness. Change, however, can also provide opportunities for intervention and enhancement. Understanding the dynamics of an historic environment is therefore important in securing its future.

2.10 Six key issues have been identified as part of the development of a conservation strategy for Strathaven:

- Management of Development and Change
- Ownership, Management and Use
- Physical Condition
- Public Realm
- Landscape
- Awareness and Education

Management of development and change.

2.11 Any conservation area can be harmed by inappropriate or insensitive development. In a conservation area such as Strathaven, insensitive demolition, or inappropriately scaled or designed development can have a disproportionately adverse impact. This is due to the character of the conservation area comprising of a mix of both tightly enclosed organic post medieval streetscapes contrasted with more linear streetscapes within the Georgian and Victorian urban extensions.

2.12 Great care will be required if demolition is necessary, or if new building or extensions are proposed. Careful consideration will have to be given to the massing, design and scale of these, both within and adjacent to the conservation area. Care is needed so as to ensure that no adverse impact occurs in terms of further erosion of the fragmented built fabric of the original Medieval and Post Medieval town centre or that of the contiguous urban wall of buildings that comprise the Georgian urban extensions. Development that could impinge on the rhythm and spacing of the detached villas in the later Victorian and Edwardian extensions of the upper Kirk Street and Townhead Street sections of the conservation area also requires care.

Particularly sensitive sites include:

- The gap site addressing Kirk Street at the head of Strait Close that reveals the gable of no 7 Strait Close and is directly adjacent to the former vennel now pocket park supplying access to Waterside Street via the Boo Backit Bridge.
- The gap site resulting from the demolition of the Castle Tavern in late 2011. This gap site now detracts from the key junction of Todshill and Kirk Streets and erodes what remains of the historic cross by opening up what would have been a tight entrance to Kirk Street that would have dated from the 1770's.
- The gap site in the Common Green that resulted from the demolition in 1969 of a late Georgian villa that housed the Bank of Scotland and the adjacent Commercial Garage. The gap site now supplies access to the Common Green car park but erodes the sense of spatial enclosure along the south-west side of Common Green.

2.13 Alterations to historic fabric also require consideration and sensitive thought. The roofscape of the conservation area is highly visible from key vantage points such as Castle Street and Strathaven Cemetery. However, there have been many alterations and insensitive insertions into historic roof fabric. New dormers or even entirely new roofs to accommodate further floorspace, have had an impact on the proportions of the original property.

2.14 Roof top extensions and new dormers within the conservation area require thought so that the proportions of the original building are not eroded thereby undermining the special character of the conservation area.

Ownership, management, and use.

2.15 Maintenance and enhancement of the quality of the economic and social fabric of the historic environment is vital if it is to be passed on in good order to future generations. Derelict and underused buildings together with gap sites can all contribute to economic blight and act as a barrier to regeneration.

2.16 The Buildings at Risk Register has been approached by South Lanarkshire Council about a further two buildings within the conservation area:

- **32-34 Kirk Street** - Symmetrical four bay two storey late 18th century Georgian vernacular townhouse addressing Kirk Street. Central pedimented chimney, the upper section of which has been removed further to it being declared unsafe in 2013. The building is currently un-occupied with windows and doors boarded up. Both shopfronts incorporate external boxed in roller shutter housings.
- **1 Main Street** – a three bay, two storey and attic with large dormer late 18th century townhouse located on one of the oldest surviving streets in Strathaven. This small townhouse is now vacant and is rapidly deteriorating in condition. The dormer and roof are in need of complete repair and the cast iron rainwater goods are no longer present. The chimney appears to have partially collapsed.

These buildings are now pending review by the Buildings at Risk Register.

2.17 The Strathaven Conservation Area Appraisal has also identified several other buildings that require care to be prioritised:

- **2 – 6 The Ward** – These unpretentious structures were outbuildings to the former SCS Co-op building on Waterside Street. They were used as a garage until 2011 and are now in poor condition having fallen into increasingly poor repair with sections of brick work looking unstable, cast iron rainwater pipes missing and sections of roof looking in poor repair.
- **44 - 52 Kirk Street** – Currently occupied by a Hot Food Takeaway this asymmetrical four bay two storey late 18th century Georgian vernacular townhouse addresses both Kirk Street and Wellbrae (refer to Fig.4.8 of the Conservation Area Appraisal). Shopfront with central door sits asymmetrically within Kirk Street elevation. The first floor level of the building appears unoccupied. Lack of ventilators on windows plus modern cement render and paint appear to be causing dampness issues with peeling paint externally particularly to Wellbrae gable end.
- **The Town Mill, 4 Stonehouse Road** – A handsome Category 'B' listed building. Though its emphatic Beaux Arts influenced entrance dates from a 1935 re-modelling, the former town mill, now theatre and arts complex, is actually composed of a series of earlier buildings dating from 1831. The building was converted into an arts centre in the 1970s and has been extensively repointed in cement mortar which is preventing the building properly breathing.

2.18 In addition there are a further two buildings that, although in reasonable condition, merit attention due to loss of original architectural detail:

- **38 - 40 Common Green and 2 - 6 Green Street** – A former 18th century Georgian Church that was adapted to commercial and residential use in 1906. In order to achieve this an extended fringe / arcade of shops (with lead flat roof over) was added to the base. The shopfronts are generally in a poor condition and missing Victorian detailing

including consol brackets. Some of the shopfront upper clerestory lights have been panelled over in plywood while some of the existing Edwardian shopfront fascias have been replaced by unsympathetic signage accommodated on deeper fascias.

- **28/30 Kirk Street** – A three storey late 18th century Georgian vernacular townhouse that curves around the corner from Kirk Street to Main Street. Three bay elevation to Kirk Street with a single bay to Main Street. Compared to historic photographs the ground floor shop window proportions appear much altered. The fascia with heavy lead flashing is in need of painting. Though in reasonable condition the building is currently unoccupied and the alterations to the ground floor shopfront have had a detrimental impact on the active frontage of a building at a key corner junction within Strathaven.

2.19 Prevailing economic and social issues have led to higher levels of vacant and underused retail and commercial properties at ground floor level within some of the streets in the retail core of the town. Streets that have been affected by this include Kirk Street and Waterside Street though the former appears to have more significant problems than the latter.

2.20 Kirk Street is largely similar to Waterside Street in that, as you progress to the west beyond the junction with Wellbrae, there are instances of conversion of former shop units into ground floor domestic properties. However, closer to the Cross and the junctions with Todshill Street and Main Street there remain problems with vacant retail units and loss of active frontage. This would appear to be directly related to the heavy traffic flows on the A71 that have led to a loss of amenity.

2.21 The Cross was once the commercial heart of Strathaven; however, this has ceased to be the case with the commercial focus shifting to the Common Green. The shift appears to be largely attributable to the volume of traffic, and the type of vehicles utilising the A71 trunk road and how they interact with the tight street section where Kirk Street joins the Cross. The buildings are built hard to the back of the pavement at this point within the town.

2.22 There are many heavy lorries and goods vehicles using this section of the A71 and the weight and speed of these vehicles passing this stretch of street has had an obvious impact on amenity and consequently on people's willingness to spend time there. This has now resulted in a decline in active frontage within the street with only one shop remaining open and to a higher level of flats to let and vacant property.

Physical condition

2.23 One of the greatest threats to any heritage site is loss of primary fabric through decay and damage thus reducing the authenticity of the site. The condition of the buildings varies significantly on a property-by-property basis and although there are numerous examples of well-maintained repaired structures, there are also some in a much poorer state. The survey has identified four underlying threats to the historic fabric:

- A general lack of maintenance over an extended period.
- Inappropriate or ineffective modern repairs such as widespread use of cement pointing and proprietary stone repair products.
- Building fabric which is approaching or has reached the end of its natural life, and which now requires significant repair work.
- Loss of architectural details, for example replacement of original timber windows with modern plastic substitutes, the loss or poor repair of traditional shopfronts and the introduction of unsympathetic modern shopfronts or inappropriate signage.

Public Realm

2.24 The existing streetscape including road and pavement maintenance, traffic barriers, road markings, street furniture, lighting, signage, and car parking layout all have a significant impact on the character of the area and is particularly intrusive in the Common Green and at the junction of Barn Street, Waterside Street, and Green Street. Street surface, furniture and signage throughout

the conservation area require to be properly coordinated. The location of signage – both road markings and signage mounted on poles – can often be highly visually intrusive and overly dominant in the conservation area. A good example of street clutter is at the junction of Barn Street, Waterside Street, and Green Street where four different signs are stacked one above another. Consideration should be given to a streetscape based on Scottish Government policy 'Designing Streets'.

Landscape

2.25 Mature trees are an important element of the conservation area, making a positive contribution to views within and across Strathaven as well as to amenity and environmental value. Age and limited management in some areas of the town has taken its toll. The following tree works would be of benefit to the conservation area:

- Around and within Strathaven undertake planting of individual boundary, parkland and field trees to replace those that have been lost or are approaching the end of their useful lives.
- Carry out a programme of crown lifting and thinning out of branches to trees at key locations such as the trees along Todshill Street which are so densely overgrown so as to obscure views to Strathaven (or Avondale) Castle.

Awareness and Education

2.26 Consultation undertaken during the course of this study indicated that the history and value of both the individual buildings and the wider townscape is poorly understood. A further problem, and common to many other places, is a poor understanding of how historic sites should be sensitively maintained and adapted to modern use. It is this wider educational problem which fosters much of the incremental damage which can be seen throughout the historic environment.

3.0 Strategic objectives and policies

3.1 The historic environment is a finite and non-renewable resource. Maintaining and enhancing the economic and social fabric of the historic environment is vital if the variety, quality and special characteristics of this resource are to be sustained for future generations. Avoiding the neglect and loss of the built fabric and promoting the efficient use and reuse of land and buildings within the historic environment are the two key ways of achieving this.

3.2 In order to do so, the Conservation Area Management Plan has identified six strategic objectives:

- **CAMP 1.0 Assessment of development proposals**
Specifying the criteria that will be applied to proposals within the conservation area in order to ensure that its value is not adversely affected by inappropriate change.
- **CAMP 2.0 Regeneration and enhancement**
Specifying the criteria that will be applied in relation to proposals for regeneration or that would affect streetscape or landscaping within the Conservation Area.
- **CAMP 3.0 Protection through education and outreach**
Grassroots approach to raise awareness of stakeholders within the Conservation Area of their responsibilities to ensure a heritage led approach is taken for repair and regeneration. This will include a review of the existing Article 4 Direction and adherence to the Council's Enforcement Charter in order to minimise the risk posed by unauthorised works.

- **CAMP 4.0 Support for building owners**

Raising awareness and education through training and outreach to building owners and local contractors.

- **CAMP 5.0 Archaeology**

Supporting the need to identify, survey, schedule all significant sites, structures, buildings, landscapes and battlefields of archaeological or historical interest in or around the study area, and ensure that all archaeology is retained, protected and preserved in situ within an appropriate setting.

- **CAMP 6.0 Monitoring and Review**

Providing for the establishment of appropriate consultation and review mechanisms

3.3 For each of the strategic objectives there is a section which outlines the **aims**, a section of the specific **issues**, and then a section on **delivery**. This will be dependent on resources. At the end of each section **policies** are set out to fulfil the **aims** identified. These should be read in conjunction with the adopted South Lanarkshire Local Development Plan (June 2015) and South Lanarkshire Council Supplementary Planning Guidance, in particular the Supplementary Guidance on the Natural and Historic Environment and on Development Management, Placemaking and Design.

CAMP 1.0

Assessment of development proposals

3.4 The **aim** of this section is to encourage high quality, contemporary design in a variety of scales and styles appropriate to the conservation area without introducing an unduly prescriptive design style as this might dilute the mix of building form along the principal streets within the town centre core of the conservation area or detract from the quality, and setting of the individual cottages and villas within the more suburban sections of the conservation area.

3.5 It is acknowledged that a variety of styles have been used for development over the last 25 years, and to variable quality. By proposing these policy guidelines South Lanarkshire Council is seeking to improve the overall character of the conservation area over the next five to ten years through its consideration and assessment of applications for new development. It will be a gradual and incremental approach as new development comes forward that will take its cue from the guidance already outlined in the adopted South Lanarkshire Local Development Plan and in Supplementary Guidance and the CAA and CAMP:

3.6 Amongst the **issues** that will be considered in determining any such applications will be:

- **The position of the application site:** How prominent is the site within the streetscape and is it visible on key approaches within the conservation area? What contribution does it make to the overall character of the conservation area?
- **Quality of buildings:** Are the buildings on the site and immediately adjacent to the site substantially unaltered and/ or a particularly good example of their type? What are the principal elevations and how will the proposals affect them?

- **Rhythm and massing:** Does the proposed design respect the rhythm of the existing feus, the varied massing of the conservation area, and reinforce the street line on the streets where a strong street line is key to the conservation area's character? If the backlands of a site are important, do the proposals maintain the historic land use pattern?
- **Design approach:** Whilst small scale alterations may adopt the palette of materials and finishes of the original building, it is anticipated that high quality contemporary design will be used for larger works. They should reflect the overall character of the area through careful use of materials and textures.
- **Service infrastructure:** Works such as services (for example satellite dishes or telecommunications) can have a disproportionate impact on the integrity of both existing and proposed works and require consideration. What fixtures are likely to be needed and would they have an adverse impact, are they necessary, can they be better located, and do alternative locations exist?

3.7 Delivery of these policies will begin for all new applications submitted. The area of greatest priority will be that defined by the Common Green, Waterside Street, Main Street, Kirk Street, Green Street, and Allison Green. Applicants are encouraged to carry out pre-application consultation with South Lanarkshire Council to ensure that the design is appropriately focussed from the outset.

Policy CAMP 1.1

Development principles

South Lanarkshire Council will seek to ensure that the design and construction of any development within the conservation area will reconcile the new with the old so that the significance of the old is preserved and enhanced, and not diminished. The Council will assess planning applications on their individual merits and generally in accordance with the following criteria:

- (a) The original historic building is the focus in any development scheme. Alterations and extensions to existing buildings are informed by the existing character, form and special qualities of the building.
- (b) All alterations, extensions and new structures are well designed and of a quality commensurate with the historic buildings and the character of the site. New developments should respect historic building plots, respect building/façade lines, and maintain historic street patterns. When inserting new developments particular care should be taken to respect the various qualities of each of the identified character zones. Where already diluted by modern alterations, new developments should generally seek to restore the original relationship and hence contribute to the heritage focus of the conservation area.
- (c) New work to existing buildings does not imitate original work so closely that new and old become confused. Substantial alterations and insertions may have a strong character of their own, while minor works should not draw attention to themselves and should be of high design quality, "of their time", and complement rather than mimic existing buildings.
- (d) The exception to (c) may be made in the case of shopfront enhancement. Where an existing shopfront is unsympathetic, and there is sound research and physical evidence of what was once there, it is often possible, and appropriate, to reinstate the earlier frontage.

- (e) The proposed development does not have any significant adverse impact on views to or from the conservation area including the removal or obscuring of key landmarks.
- (f) New utilities, mechanical and electrical services are planned, where possible, to minimise their impact and avoid damage to any building fabric, features, artefacts, historic services or below ground archaeology of significance.

Policy CAMP 1.2

Significant planning applications*

Significant development proposals affecting listed buildings or important sites in the conservation area should be accompanied by a conservation statement or management plan undertaken in accordance with Historic Environment Scotland guidance. In this regard, advice will be provided by the Planning Authority on the required level of supporting information. This may include:

- (a) A desk assessment of all available information regarding the historical development of the site, structure or building, including date of construction, notable alterations, former uses or historical associations, and any archival data that may be held by the National Monuments Record for Scotland, SCRAN (Historic Environment Scotland's online educational service), South Lanarkshire Council or other body.
- (b) An appraisal of the existing property including all existing buildings and any upstanding remains on the site by means of drawings and photographs, identification and dating of the historic fabric, including any historically or architecturally important elements within the property should be identified and dated, and identification of historically or architecturally important elements therein.
- (c) Details of any consultation with key

stakeholders such as Historic Environment Scotland, or amenity bodies such as Scottish Civic Trust or Avondale Civic Society.

- (d) A detailed design statement setting out the underlying design approach, the designer's response to site specific and development brief issues, an assessment of the impact upon the heritage resource (for example loss of, or alteration to, historic fabric), and any appropriate mitigation measures proposed to obviate damage to the historic environment.

*** Should you require guidance on your proposal's significance please contact:**

Planning and Economic Development Services
Montrose House
154 Montrose Crescent
Hamilton
ML3 6LB

Phone: 0303 123 1015

Email: planning@southlanarkshire.gov.uk

Consultation with Historic Environment Scotland would be required for any application for Conservation Area Consent (demolition of an unlisted building within the conservation area).

Policy CAMP 1.3 Demolition in the conservation area

There will be a general presumption against demolition of buildings within the conservation area, unless there are overriding safety reasons.

Where there are no overriding reasons of safety, proposals for the total or substantial demolition of a building within the conservation area will only be supported where it is demonstrated to the satisfaction of the Council through the submission of a detailed planning application, including a design assessment, in accordance with Historic Environment Scotland policy, that the building is not important to or detracts from the character of the conservation area. Conservation Area Consent will be required and consultation with Historic Environment Scotland carried out. Any application for Conservation Area Consent will also require an associated planning application for the site's redevelopment.

If the building is considered to be important to the Conservation Area it shall be demonstrated by the applicant that every effort has been exerted to find practical ways of keeping it. This will include the provision of evidence to the Council that the building is incapable of physical repair and re-use, including the submission and verification of a thorough structural report. Where appropriate demolition will not begin until evidence is given of contracts let for the approved development. Further guidance on what to submit with your planning application can be found in the Natural and Historic Environment Supplementary Guidance. –

www.southlanarkshire.gov.uk/natural-historic-environment

Where a building is considered to be in a potentially dangerous condition then advice will be sought from the Council's Planning and Building Standards Services. If circumstances allow the site shall be secured against public access, pending agreement of a way forward. If the building is to be demolished a record of the structure should be made prior to its demolition.

CAMP 2.0

Regeneration and enhancement

3.8 The **aim** of this policy guidance section is to provide support for existing uses within the conservation area and encourage reuse of empty or underused properties in order to reinforce the character of the conservation area and minimise neglect of buildings.

3.9 The Council recognises that the seasonal nature of agriculture, the tourist sector and current economic conditions, in conjunction with Strathaven's proximity to the retailing centres of East Kilbride and Glasgow, raise particular challenges in maintaining a broad economic base. In order to avoid retail vacancies a flexible approach will be required to assist existing businesses within the conservation area, encourage new uses into vacant premises as well as support the realignment of retail provision to different, and potentially more profitable, niche markets, as necessary.

3.10 **Issues** which South Lanarkshire Council will consider in determination of such applications will include:

- Whether a larger extension and/or alteration to existing buildings is acceptable. If it can be adequately demonstrated that there is a site-specific requirement which would support an established economic use in the long term.
- Whether the proposal will allow a building which is not capable of economic use to be brought back into productive occupation.
- Has the applicant demonstrated a balanced approach to key heritage interests, maintaining features of greatest significance and managing change to the minimum required?
- Is there the possibility to review requirements for parking or amenity space to allow a building to be brought back into use?
- Would proposals for new development for commercial or retail purposes outwith the conservation area displace existing users and contribute to further vacancy levels?

3.11 The **delivery** of this policy will require a joint approach between a range of interests including South Lanarkshire Council, business interests, and regeneration agencies.

Policy CAMP 2.1 Regeneration

The Council will support sustainable new uses for vacant and underused buildings and retail space compatible with their fabric, setting, character, and special interest. It is recommended that developers contact the Council's Planning and Building Standards Services and Regeneration Services at an early a stage as possible in the preparation of their proposal.

3.12 In considering streetscape and landscaping issues, the **aim** of South Lanarkshire Council is to ensure sympathetic materials are used and reinforce or reinstate existing planting which has been lost. The key **issues** for South Lanarkshire Council are:

- Ensure a sympathetic palette of materials within the core conservation area is used, notably around the Common Green and along Waterside and Bridge Streets creating a more suitable environment for pedestrians and occupiers
- Controlling potentially intrusive features such as signage and street furniture, as well as avoiding excessive use of standard fixings which may detract from the character and architecture of the area
- Avoiding the loss of important mature planting, which define the policies of individual feus or which frame natural boundaries such as embankments.

3.13 It is recognised that **delivery** will require a cross-department coordinated approach and the development of publically-funded urban realm works will be set by current and on-going budgetary constraints. As funding permits the objective will be to carry out targeted improvements.

Policy CAMP 2.2 Streetscape and landscaping

Detailed proposals for the townscape and hard landscaping within the conservation area should be based upon a comprehensive analysis and heritage impact assessment of proposals on a case-by-case basis. However in general terms the Council will seek to:

- (a) Ensure that key vistas are maintained, framing and reinforcing existing views and streetscapes.
- (b) Remove clutter and inappropriate street furniture where it has an adverse impact on the character and amenity of the conservation area, for example where it blocks key views or impinges upon important historic properties.
- (c) Incorporate pedestrian-friendly access, or a shared surface, in particular within the area of the key junction of Waterside and Bridge Streets.
- (d) Maintain the existing, largely historic, balance of soft and hard landscaping.

CAMP 3.0 Protection through education and outreach

3.14 In implementing this conservation management plan effective measures need to be put in place to protect the conservation area from inappropriate development. South Lanarkshire Council has a Planning Enforcement Charter which provides a guide to enforcing planning controls. It explains the Council's policy on enforcement and monitoring and what action may be taken by the Council when a breach in planning control has occurred. This can be found on the Council's website or by using this link www.southlanarkshire.gov.uk/downloads/file/57/planning_enforcement_charter

3.15 Whilst it is recognised that there is a strength and commitment from the local community to regenerate, safeguard and enhance the conservation area it is recognised that many stakeholders within the conservation area have a poor understanding of what this means. Development within the conservation area is subject to stricter planning controls and planning permission is required for certain types of development that may not ordinarily be needed such as extensions and alterations to dwellinghouses or stone cleaning. Property owners may not be aware of these stricter controls and it is considered that a grass roots approach is required to raise awareness and education in the responsibilities of owning or occupying property within the conservation area.

3.16 A key driver to effecting change within the conservation area would be to roll out an education and outreach programme. This would address the lack of understanding of the statutory requirements that come with owning property within a conservation area and aid the community's understanding of the need for a heritage led approach to repair and regeneration. South Lanarkshire Council has been awarded funding through Historic Environment Scotland's Conservation Area Regeneration Scheme (CARS) and some of this funding has been allocated for this purpose. The **aim** of South Lanarkshire Council is therefore to carry out a programme of outreach and education to ensure the historic environment of the conservation area is protected by stakeholders.

3.17 In developing an education and outreach programme, the **issues** identified include:

- Improving understanding of the planning control system and the conservation area in particular, such as what kinds of works are likely to be acceptable.
- Measures to ensure that unauthorised development does not occur and that where such works commence, they are identified at an early stage and remedial operations put in hand.
- Steps to minimise the risk that buildings will fall into significant disrepair whereby their character and use might be adversely affected.
- Making this information available in a range of ways, such as digital media, in order to reach as wide a cross-section of the community as possible.

3.18 It is recognised that any enforcement measures may have to be reintroduced gradually given past unauthorised minor works and the need to allow this educational programme to be rolled out. Nevertheless when determining the future need to use its enforcement powers the Council will have regard to the impact unauthorised work has on the character and amenity of the conservation area. Enforcement will be used as and when required in accordance with the Council's Planning Enforcement Charter and this will depend on the circumstances of each case.

3.19 **Delivery** will therefore take place over the five year programme for CARS.

Policy CAMP 3.1 Education and enforcement

As part of the implementation of the Strathaven Conservation Area Regeneration Scheme South Lanarkshire Council will carry out a programme of events to raise awareness and education of the responsibilities of owning or occupying property within the conservation area and the types of criteria to adhere to in the repair and regeneration of their property to prevent enforcement action.

3.20 Our historic towns, villages, and buildings offer an unsurpassed educational tool, explaining how our country developed and the importance of our heritage in creating attractive communities where we can work, live, and play. It will therefore also be the objective of the CAMP to raise awareness of the value and importance of the conservation area to the wider community of Strathaven and other interested stakeholders.

3.21 In developing an education and outreach programme, the **issues** identified include:

- Informing stakeholders of the development of the town, its place in the wider history of South Lanarkshire, and the key buildings/features which merit protection
- Making this information available in a range of ways, such as digital media, in order to reach as wide a cross-section of the community as possible.

3.22 Delivery will take place over the five year programme for CARS.

Policy CAMP 3.2 Educational outreach

As part of the implementation of the Strathaven Conservation Area Regeneration Scheme South Lanarkshire Council will investigate ways to bring forward an education and outreach scheme focussing on the local community which will include information on the historical, architectural, and archaeological value of the built and natural heritage resources

Consideration will be given to wider access through a variety of media such as digital (web based) material, schools packs, evening lectures/presentations, and other activities.

Any programme will include consultation with local amenity bodies and schools.

3.23 The November 2011 enactment of the Town and Country Planning (General Permitted Development) (Scotland) Amendment Order 2011 removed permitted development rights for householders in all conservation areas throughout Scotland. This includes enlargements and alterations to dwellinghouses. The new restrictions are covered in a series of Classes (Class 1A, 1B, 1C, 1D, 2A, 2B, 3A, 3B, 3C, 3D, 3E and 4A), outlined in Part 1 and Part1ZA of the schedule accompanying the amendment. The new classes are substitutes for the restrictions outlined in the previous classes 1- 6 which accompanied the Town and Country Planning (General Permitted Development) (Scotland) Order 1992. The wording of the new classes supplies greater protection for conservation areas in Scotland.

3.24 It is clear that the existing Article 4 Direction requires to take account of these legislative changes and to be reviewed to allow an assessment to be carried out if there is a need for further controls. The main **issue** identified was:

- Reducing the scope for inappropriate permitted development through enforcement of the existing article 4 Direction and any subsequent revision adopted.

3.25 Delivery will take place over the five year programme for CARS.

Policy CAMP 3.3 Article 4 review

South Lanarkshire Council will review the existing Article 4 Direction to take account of legislative changes and consider if there is a need for any other controls such as in respect of:

1. Erection of gates, walls, fences, and access ways (non-domestic).
2. Temporary buildings and uses.
3. Development by local authority.
4. Microgeneration equipment*.
5. Private access roads, tracks, and driveways.
6. Utility installations.

* These are domestic scale sources of energy and technologies e.g. solar panels or biomass.

CAMP 4.0

Support for building owners

3.26 The **aim** of South Lanarkshire Council is to support the effective conservation of the historic townscape. This will include guidance for property owners, training for contractors, educational activities, and where possible investigation of grant funding opportunities with the help and support of local voluntary bodies, as appropriate.

3.27 In developing a strategy, the **issues** identified include:

- The challenge posed in the delivery of traditional craft-based repair such as stonemasonry and slate work, combined with a limited number of contractors able to undertake the work and the need to make owners aware of the best way forward.
- The additional costs that may be incurred in using these traditional materials in contrast to less appropriate modern materials and the financial challenge this can pose.
- The delivery of a coordinated conservation strategy that includes interpretation on the history of the town and individual buildings of note and education on the benefits of appropriate repairs and maintenance on the longevity and enhancement of the building.

3.28 **Delivery** will be sought through implementation of the Strathaven Conservation Area Regeneration Scheme. The objective will be to introduce these measures over the next five years, working with other stakeholders, local voluntary groups and funders if they come forward.

Policy CAMP 4.1

Support measures

As part of the implementation of the Strathaven Conservation Area Regeneration Scheme South Lanarkshire Council will investigate ways to encourage improvements to the conditions of the built fabric and for appropriate standards of care and maintenance to be applied through:

- (a) Awareness and education - such as workshops for stakeholders on appropriate repairs and maintenance;
- (b) Training and outreach - such as construction skills training for local contractors on appropriate materials and methods.

CAMP 5.0

Archaeology

3.29 The **aim** of South Lanarkshire Council is to protect and preserve in situ within an appropriate setting, all Scheduled Monuments and Candidate Scheduled Monuments and that all non-scheduled archaeological resources shall be preserved in situ wherever feasible.

3.30 In developing a strategy, the **issues** identified include:

- Identification of all significant sites, structures, buildings, landscapes and battlefields of archaeological or historical interest in or around Strathaven
- The surveying and scheduling of all significant sites, structures, buildings, landscapes and battlefields of archaeological or historical interest in or around Strathaven
- The principle of preservation in situ for all sites unless material considerations indicate otherwise for sites containing non-scheduled archaeological resources. A precautionary approach is proposed for candidate sites.

3.31 This policy is already **delivered** through the adopted South Lanarkshire Local Development Plan and associated Natural and Historic Environment Supplementary Guidance.

Policy CAMP 5.1

Archaeology

South Lanarkshire Council will review all planning applications within the Conservation Area against the adopted South Lanarkshire Local Development Plan Policy 15 Natural and Historic Environment and Policies NHE 2 – Scheduled monuments and their setting and NHE6 – Non-scheduled archaeological sites and monuments of the associated Natural and Historic Environment Supplementary Guidance.

CAMP 6.0

Monitoring and review

3.32 It is recognised that Strathaven Conservation Area is a living place that will continue to change. Such change must be safely managed in order to safeguard and enhance the special qualities, character and appearance of Strathaven Conservation Area.

3.33 It is therefore important that the Conservation Area Management Plan is regularly reviewed and, where required, updated in light of changing circumstances and as more becomes known about the area. It is the aim of South Lanarkshire Council to regularly review and monitor the CAMP and update the document as appropriate if necessary. The main issue likely to impact on the outcome of the monitoring and review process was identified as:

- The impact of a reduction in resources after the CARS scheme is completed.

3.34 **Delivery** will be sought through implementation of the Strathaven Conservation Area Regeneration Scheme over the next five years

Policy CAMP 6.1

Monitoring and review

South Lanarkshire Council will review the implementation of the CAMP and its effectiveness through an assessment of the outcomes generated by the delivery of the CARS Scheme.

4.0 Further information

4.1 Sources of financial assistance

Possible sources of funding or financial assistance include:

- South Lanarkshire Council Discretionary Grants including Improvement/Repairs Grant schemes.
- An application to the Heritage Lottery Fund for a Townscape Heritage Initiative scheme
- An application to Historic Environment Scotland for Conservation Area Regeneration Scheme funding
- A submission to the Architectural Heritage Fund for Heritage Grants and Feasibility Study Grants
- European Union LEADER+ funding which is geared to the diversification of economic activity in rural areas by applying innovative, integrated and participative territorial development strategies.

4.2 Bibliography

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Legislation and statutory instruments

Planning (Listed Buildings and Conservation Areas)(Scotland) Act 1997. (As amended by the Historic Environment (Amendment) Scotland Act 2011)

The Historic Buildings and Ancient Monuments Act 1953; (As amended by the Historic Environment (Amendment) Scotland Act 2011)

The Ancient Monuments and Archaeological Areas Act 1979; (As amended by the Historic Environment (Amendment) Scotland Act 2011)

Town and Country Planning (General Permitted Development) (Scotland) Order 1992, (and subsequent amendments)

Policy Context

South Lanarkshire Local Development Plan (2015)

Natural and Historic Environment Supplementary Guidance (2015)

Development Management, Placemaking and Design Supplementary Guidance (2015)

Green Network and Greenspace Supplementary Guidance (2015)

South Lanarkshire Planning Enforcement Charter

Scottish Planning Policy (SPP) June 2014

Historic Environment Scotland Policy Statement June 2016

Historic Environment Circular 1 (2016)

Planning Advice Note 71: Conservation Area Management (2004).

Creating Places – A Policy Statement on architecture and place for Scotland (2013).

Designing Streets – A Policy Statement for Scotland (2010).

4.3 Useful Contact

Planning and Economic Development Services

Montrose House
154 Montrose Crescent
Hamilton
ML3 6LB

Phone: 0303 123 1015

Email: planning@southlanarkshire.gov.uk

Conservation

Historic Environment Scotland's INFORM Guides are available from Historic Environment Scotland's website. These are short leaflets which gives owners of traditional buildings information on repair and maintenance.

These can be accessed by clicking on this link – www.englished.org/publications/?publication_type=36

Appendix

Strathaven Conservation Area Design Guide

Introduction

The aim of this design guide is to protect the historic character of Strathaven Conservation Area and to ensure that all new developments whether alterations, repairs or new buildings respect the significance and value of the designated area.

The care of the conservation area is particularly important as it enables conservation to play an active part in regeneration and placemaking. This can be achieved by ensuring that change is managed in a way that sustains and enhances the historic character of the built environment, without overly constraining or inhibiting development, by preventing inappropriate designs and promoting relevant change and development.

The purpose of this design guide is to provide design and maintenance guidance for buildings throughout the conservation area to ensure that such works meet the required standards for the conservation area. It sets out design principles but does not seek to dictate design solutions.

Planning and Economic Development Services

Montrose House
154 Montrose Crescent
Hamilton
ML3 6LB
Phone: 0303 123 1015
Email: planning@southlanarkshire.gov.uk

How to use this design guide

This design guide has been prepared to provide guidance for:

- All owners and occupiers of properties within the conservation area who are considering alterations and repairs to their buildings; and,
- All developers, landowners, building owners and professionals considering the construction of new buildings within the conservation area;

The design guide has been informed by and should be read in conjunction with Strathaven Conservation Area Appraisal (CAA) and Strathaven Conservation Area Management Plan (CAMP) as these provide further detail on the special characteristics of the conservation area and its ongoing management.

Planning permission will not normally be granted for works which would result in a loss of architectural or historic features that contribute to the character of the conservation area. This includes, not only windows, doors and other architectural characteristics, but also historic plot boundaries, spatial arrangements, and key views. Simple repairs to the existing fabric of most buildings and exact like for like replacement of original features does not generally require planning permission. However listed building consent will be required for works which affect the character or appearance of a listed building. This often includes work to the interior as well as the exterior, and to any structures within the curtilage of the building.

Anyone intending to carry out alterations to property within the conservation area should contact Planning and Economic Development Services at the earliest possible stage for advice on design and the need for planning consent.

Maintenance

Regular maintenance of a building is the best and most economic way of conserving its fabric. Looking after any building is the responsibility of owners and occupiers. A building that is looked after will retain its value and the need for extensive repairs will be avoided. Protection from water and damp penetration is the most important. Roofs, gutters and downpipes should be the first to be repaired. Owners of larger buildings might consider creating a maintenance plan based on annual visual inspection and a full survey every five years.

Building owners and occupiers should ensure that the following tasks are carried out on a regular basis:

- Clearing leaves, particularly after the autumn. This is probably the single most important action that owners and occupiers can take with particular attention paid to gullies and rainwater goods. Heavy rainfall is the best time to identify faults.
- Controlling plant growth which can accelerate decay, and sometimes causes structural damage. Ivy should be killed by cutting near the ground and allowing it to wither before attempting to remove it.

- Removing bird droppings as these contain damaging salts. However, there are health and safety issues involved, and large deposits should be removed by a specialist firm.
- Looking for insect attack and fungal decay, both of which are caused by damp penetration and poor ventilation.
- Checking ventilation to ensure that any grilles which ventilate the spaces under floors are not blocked. Lack of ventilation may lead to conditions in which fungal decay can take hold.
- Clearing snow which can accumulate in gutters and other areas, allowing moisture to bridge flashings, damp proof courses. Wooden or plastic shovels should be used to clear snow.

Regular maintenance should minimise the need for major repairs to all buildings. However, some elements will eventually reach the end of their life, in which case consideration will have to be given to replacement. Replacements should be of traditional materials and techniques to avoid the loss of historic value of the building and the gradual erosion of the character of the conservation area.

Roofs

Grey slate is the traditional roofing material in Strathaven and this should be used for any repairs or replacement. If re-roofing works are to be carried out, existing sound slates should if possible be salvaged and re-used; this should help reduce the cost of the work. Matching slates should be used for repairs and replacements, particularly if roofs are visible from ground level. In some circumstances e.g. on concealed elevations on unlisted buildings, simulated slates could be used. Any features such as wallhead pediments, skews and eaves should be retained or replaced using traditional materials.

The use of concrete tiles to replace traditional materials should be avoided. These types of material can affect the roof structure, due to their increased weight. Planning permission is required where a change in roofing materials is proposed.

Chimneys and chimney pots

Original chimney pots should be retained wherever possible. They provide visual character as well as providing a practical means of disposing of flue gases where a fire has been fitted. They also provide natural ventilation. Wherever possible, repairs to and



replacements of chimneys and chimney pots should be done using traditional materials and in keeping with the original. Care should be taken when repointing chimney brickwork to match the original mortar in both colour and texture. Removing a chimney or chimneys can badly compromise the appearance and special character of a property as well as that of the conservation area. New flues should be placed within existing chimneys. If this is not possible new wall mounted flues should preferably be kept to the rear elevation of the property.

Gutters and downpipes

Replacements on elevations with a public view should be made of cast iron, matching the original in profile, style and fixings. Alternative materials, such as aluminium, may sometimes be acceptable if they too match the design of the original and are painted in an appropriate colour to the building. This also applies to pipes, vents and flues installed in connection with central heating. Plumbing should be contained internally, with any external pipes located to the rear and "painted out".



Public services, burglar alarms and satellite dishes

Gas pipes, or TV and electrical wiring, etc should be routed internally or located to the rear. Television aerials should be located within the roof space and not on chimney heads where they can cause damage to stonework and detract from the appearance of the building. Disused pipework, wiring, aerials etc should be removed. 'Non-public' sides of any building should be used for siting of meter boxes. Burglar alarm boxes should not interfere with architectural features and should be sensitively located and be a colour consistent with the colour scheme of the building. Satellite dishes can also have a negative impact on the appearance of the conservation area. Favourable consideration

will generally only be given to proposals which locate the apparatus at the rear of the property in a position which does not adversely affect the appearance of the building.



Walls - paint and stonework

The majority of properties within the conservation area have a rendered finish to walls, primarily with a wet dash roughcast to provide a waterproof covering to stonework. Walls should be repaired or rendered to match the existing materials.

For stone buildings, stone is the preferred material for all repairs although in certain cases a substitute material may be acceptable e.g. reconstituted stone. Any stone cleaning should be carried out with great care. Where stonework is badly eroded it should be cut back to a sound surface and 'indented' with new stone. Original stone details, including decorative skew putts, building dates, lintels etc should not be rendered or painted. Unpainted stone should not be painted.

Attention should be paid to the brickwork joints/pointing and also roof guttering. Problems with water penetration often associated with brickwork can usually be remedied by good maintenance practices. However the careless or unnecessary repointing of brickwork can not only spoil the appearance of the original brickwork, but also cause problems in the future. The old pointing will have weathered to blend in with the bricks and should only be removed if so badly deteriorated that repointing is essential. If repointing does become necessary this should be carried out by an experienced contractor. New pointing should match as far as possible the original, both in method employed and mortar mix.



Colour schemes for properties within the conservation area should be agreed with Planning. However the use of overly bright, modern or day-glo colours should be avoided. Paint applied to natural materials should be porous to avoid moisture entrapment in the fabric of the building and long term deterioration. Generally any external painting should match the existing colour scheme. Where more than one shade is used the scheme should pick out architectural features in a consistent manner.

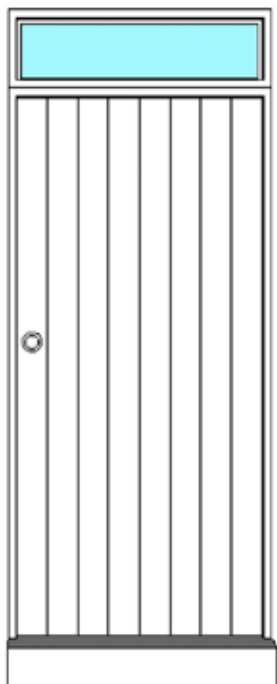
Windows and doors

The design of traditional windows and doors provides an important reference to the age, style and character of property within the conservation area. The proportions of traditional sash and case windows, together with the style and configuration of the glazing bars or astragals, create a distinctive period character and provide clues to date the building.

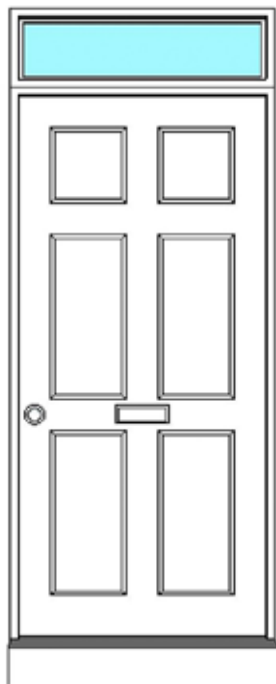


Some examples of traditional doors and windows are shown below:

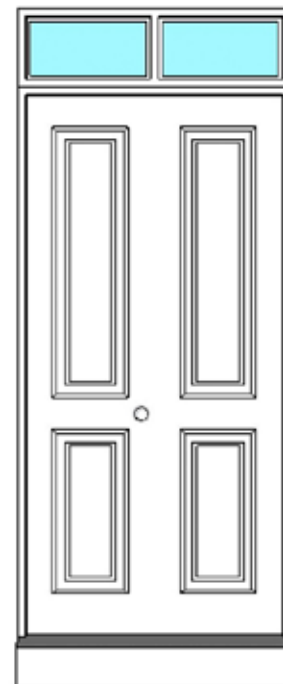
Types of traditional doors:



Framed, lined and braced, timber



Six panelled door, Georgian



Four panelled door, Victorian

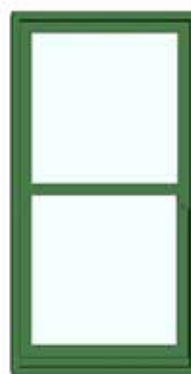
Types of traditional windows:



Sash and case window
(Early 19th century)
Lying pane style, common in Lanarkshire.



Sash and case window
(Early 19th century)
'Two over two' panes with central glazing bar. Top sash may be smaller than lower sash.

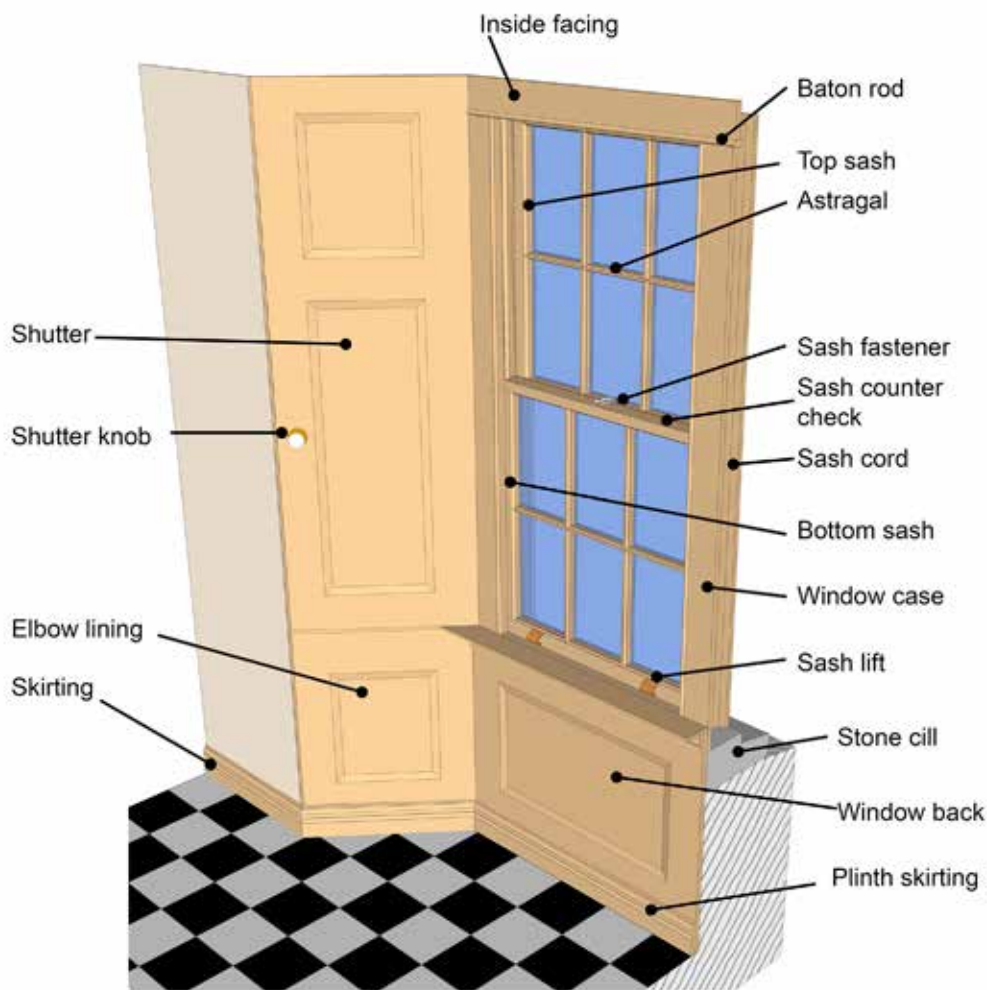


Sash and case window
(Late 19th - early 20th century)
Top sash may be smaller than lower sash.



Sash and case window
(1750 - 1830)
'Six over six' panes with strong vertical proportions. Earlier windows were smaller, with heavier frames of glazing bars.

Construction of traditional - sash and case windows



Timber sash and case windows comprise of two hung sash windows housed within a timber box or case.

The proportions and methods of opening of original windows contribute to the aesthetics of the building. The survival of original glass also provides a valuable historic reference.

Types of astragals or glazing bars:



- Fillet and Ovolo, Early Georgian



- Astragal and Hollow, Late Georgian



- Gothic, Victorian



- Stock Moulding, Modern

Inappropriate alterations

Modern materials such as UPVC or plastic coated aluminium are not in keeping with the age, style and character of the majority of properties within the conservation area. It is difficult to achieve an authentic reproduction of sash and case windows in UPVC, particularly the finer details to the mouldings and glazing bars. The durability of UPVC and other modern materials is unproven and the life expectancy of UPVC windows is unknown.

In terms of sustainability, the retention of original timber windows presents a good

alternative when compared to the production, use and disposal of UPVC windows. UPVC windows have been considered a cheaper alternative to traditional timber windows, but this might not generally be the case in terms of long-term value.

By promoting the repair and retention of traditional windows, demand for traditional joinery skills in South Lanarkshire would be stimulated, and this in turn would result in the development of specialist skills and local economic benefits.

Repairing windows and doors

There is a general presumption against the removal and replacement of original timber sash and case or other original windows and doors. In the first instance, windows should be retained, repaired and overhauled as necessary to improve their performance.

A draught proofing system or secondary glazing may be appropriate. It is generally possible to meet modern performance standards for windows by repairing or upgrading the units. In the majority of cases, sash and case windows can be retained and upgraded at a fraction of the cost of wholesale replacement. The introduction of a draught proofing system or secondary glazing can also produce high standards of thermal performance and sound insulation.

The most common problems with sash and case windows are the deterioration of the timber to the sill and lower section of the bottom sash. Repairs and replacement of timber to match the original detail can be carried out by an experienced joiner at a low cost. A strict maintenance regime can prolong the life expectancy of timber windows.

Similarly, original timber doors denote the period of the historic building. It is worth considering repair rather than replacement. Components of timber doors can generally

be repaired at a low cost, which will be a sustainable option when compared with replacement.



Replacement windows and doors for listed buildings

Where replacement windows are necessary, windows should be replaced in a style and configuration appropriate to the age and character of the building. All new windows should match the originals in terms of their materials, design and method of opening. UPVC windows are not acceptable for listed buildings.

Historic windows, other than sash and case, such as leaded, stained glass or casement windows should be repaired in the first

instance or replaced on a like for like basis. Rooflights should generally be placed on the rear section of the roof or should replace original rooflights elsewhere and should have a low profile to replicate the design of traditional cast-iron rooflights.

Where replacement doors are necessary for listed buildings, they should be replaced in a style and design appropriate to the age and character of the property. Replacement doors should match the original doors and be constructed of timber. UPVC doors are not acceptable for listed buildings.

Replacement windows and doors for unlisted buildings in the conservation area

Where replacement windows are necessary, windows should be replaced in a style and configuration appropriate to the age and character of the building. For windows on the frontage of the property or that are on a significant public elevation this will generally mean timber sash and case windows which match the originals in terms of their materials, design and method of opening. Double glazed timber sash and case windows may be acceptable where glazing bar details are an authentic reproduction of the originals.

For windows on the rear of the property or that are on a non public side elevation windows should match the originals in terms of design and proportions of the windows. The transom level should be replicated. Modern materials may be acceptable as an alternative to timber. Alternative methods of opening such as sliding and tilting sash windows and pivot windows or top vent and deadlight windows may also be acceptable.

Rooflights should generally be placed on the rear section of the roof or should replace original rooflights elsewhere. Rooflights with a low profile to replicate the traditional design of cast iron rooflights are preferable. Velux rooflights may be acceptable for rear or non public elevations.

Doors should be retained, repaired and overhauled to improve performance. Where replacement external doors are considered necessary, they should be replaced in a style and design appropriate to the age and character of the property. Replacement doors should match the originals and be constructed of timber. UPVC doors are not acceptable for the frontage and all significant public elevations of unlisted buildings in the conservation area.

Windows and doors should have a traditional painted finish. As an alternative, for unlisted buildings in the conservation area, a micro-porous paint system or stained finish may be acceptable.



Inappropriate UPVC Window

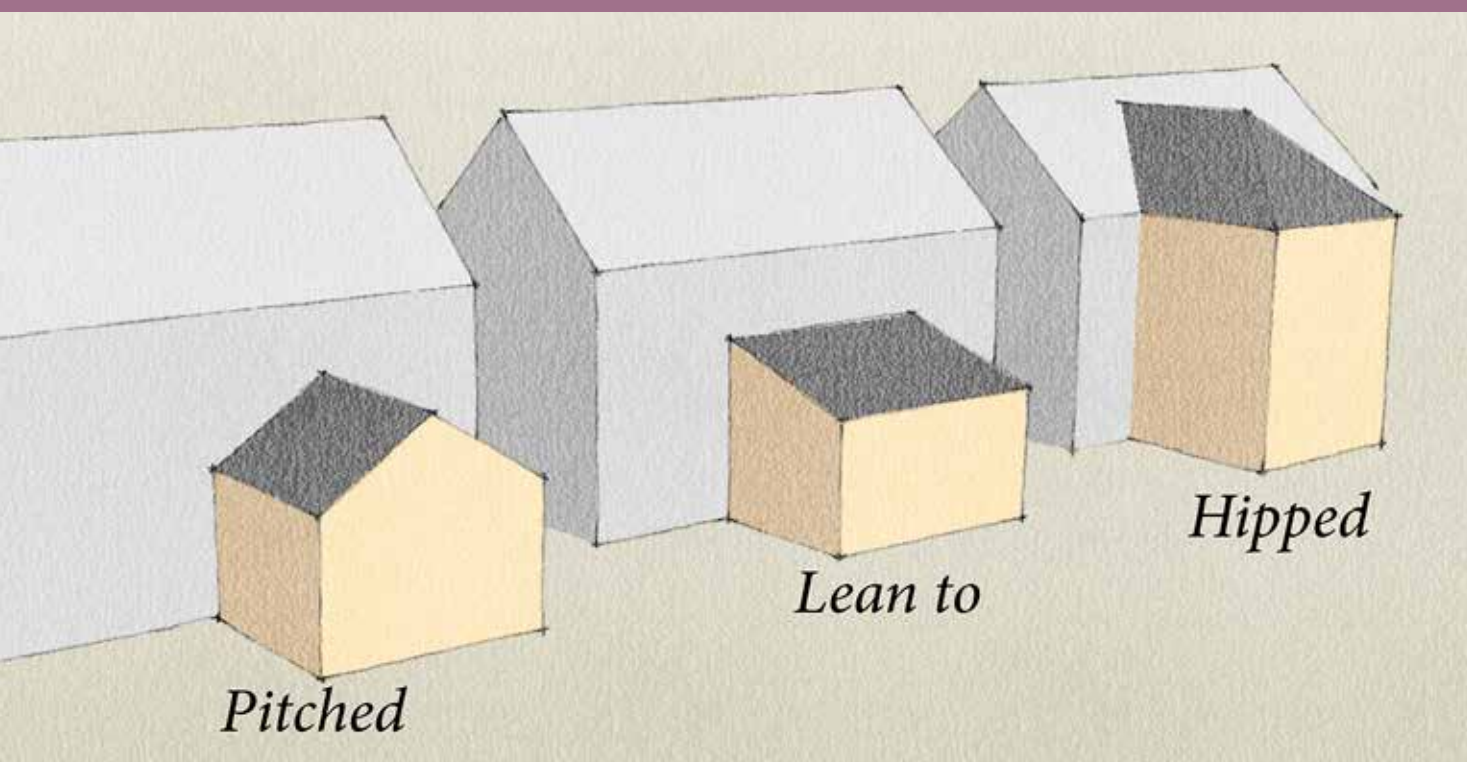
Extensions, porches and outbuildings

Extensions should normally be located at the rear elevation. The preferred form of extension would include either a lean-to, hipped or pitched roof style. Building materials proposed for colour, texture and size should respect the character of the existing building. Extensions should not be greater in height than the existing building. Flat roofs will not usually be permitted. On extensions, slate roofs should be used wherever possible. However a modern equivalent which resembles natural slate in colour and size may also be acceptable. It may also be acceptable for an extension to be different and distinguishable from the existing building, in terms of design. The use of high

quality materials which complement the main building will be required.

Due to the nature of the street frontage in the conservation area most porches have been confined to the rear elevations. However design should be carefully related to the existing rear elevation to form an integral part of the building. The roof should be either dual or mono pitched, using materials to match the existing building.

Any outbuildings, particularly garages, should blend with adjoining properties by being constructed in similar materials and have a pitched, hipped or lean-to roof.



Dormers

Generally dormers should have a hipped or pitched slate roof. Windows should be sash and case and should be smaller than the main windows on the frontage below. Any new dormer windows should respect the proportions of the building and ideally be aligned with existing windows on the lower floors.



Boundary treatments



Walls and fences can contribute to the overall character of the conservation area, therefore they should be of an appropriate design. Many of the houses are flush on to the street with large rear gardens bounded by traditional stone or brick walls. In order to maintain the traditional character of these areas it is important to retain traditional gates, walls or fences and repair rather than replace these features.

The erection of gates, fences or boundary walls requires planning permission. The conversion of front gardens into a parking space requires planning permission, which will only be given where the changes can be carried out without detriment to amenity. Front walls and hedges should be kept in good condition and their removal or replacement should not be undertaken without planning permission.

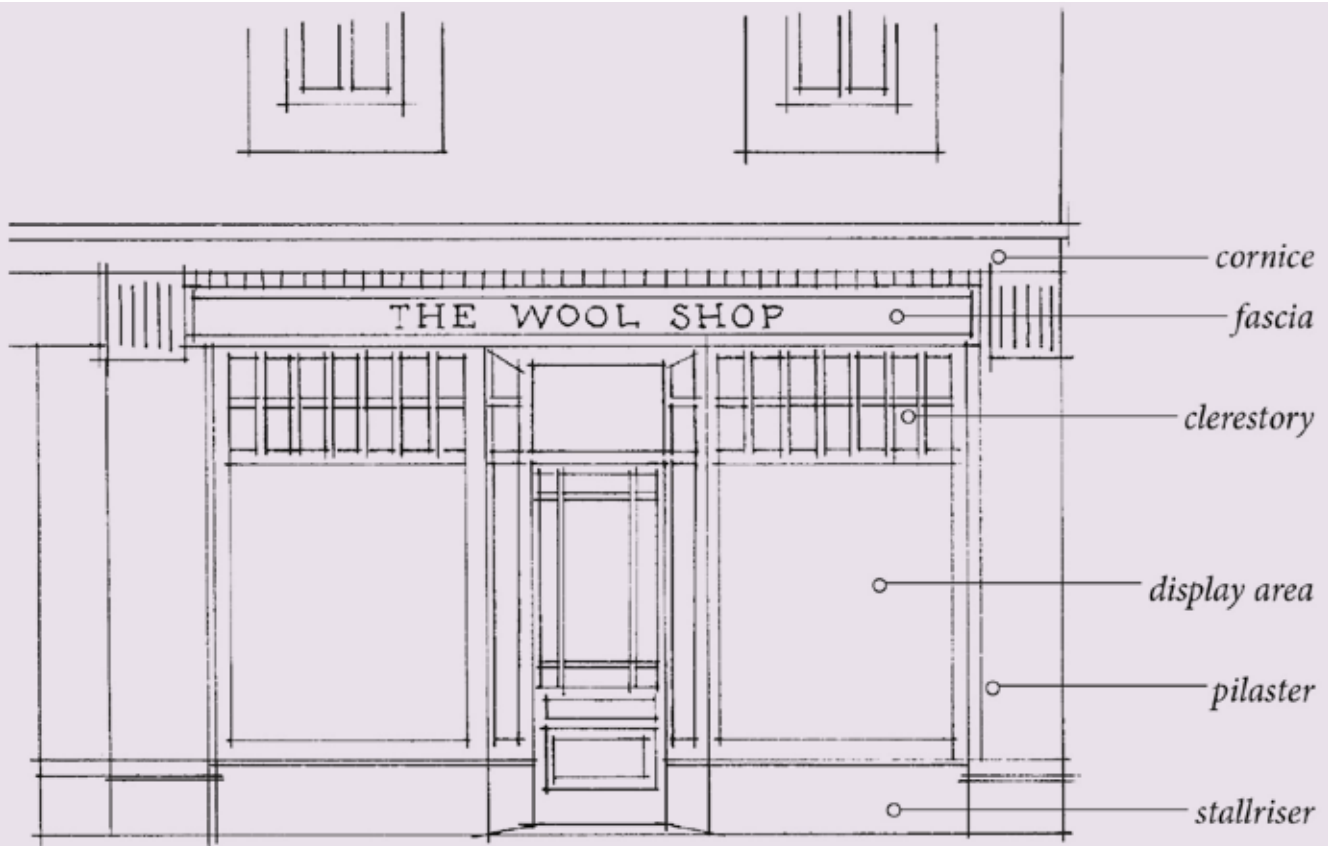
Trees and green character

Trees and greenery contribute greatly to the character and quality of the conservation area. Woodlands, planted avenues, or individual specimens, can enhance the landscape setting of the conservation area, soften streetscape and bring life and colour to gardens. Furthermore trees may also have historic or cultural significance in the area.

Trees in conservation areas are protected through the Town and Country Planning (Scotland) Act 1997. Before carrying out any work on a tree in a conservation area, owners are required to notify the council giving details of the intended works. The council can serve a Tree Preservation Order if they consider a tree to be under threat, but they can also protect and promote tree planting through conditions in planning consents.

Shopfronts

General design principles



New shopfronts or alterations to frontages should be individually designed to take account of the age and style of the particular building in which they are located. Attention should be given to the proportions, colour and materials of the new frontage which should reflect and complement the design characteristics of the building and the street elevation. When a frontage is being renewed, the opportunity should be taken to restore the frontage to its original proportions and design features where these can be established. Any modern additions such as security features or alarm boxes should be incorporated in the design at the start of the process and should be located as unobtrusively as possible.

There will be a presumption in favour of the retention of existing traditional shopfronts within listed buildings and the conservation area. The removal of a traditional frontage and

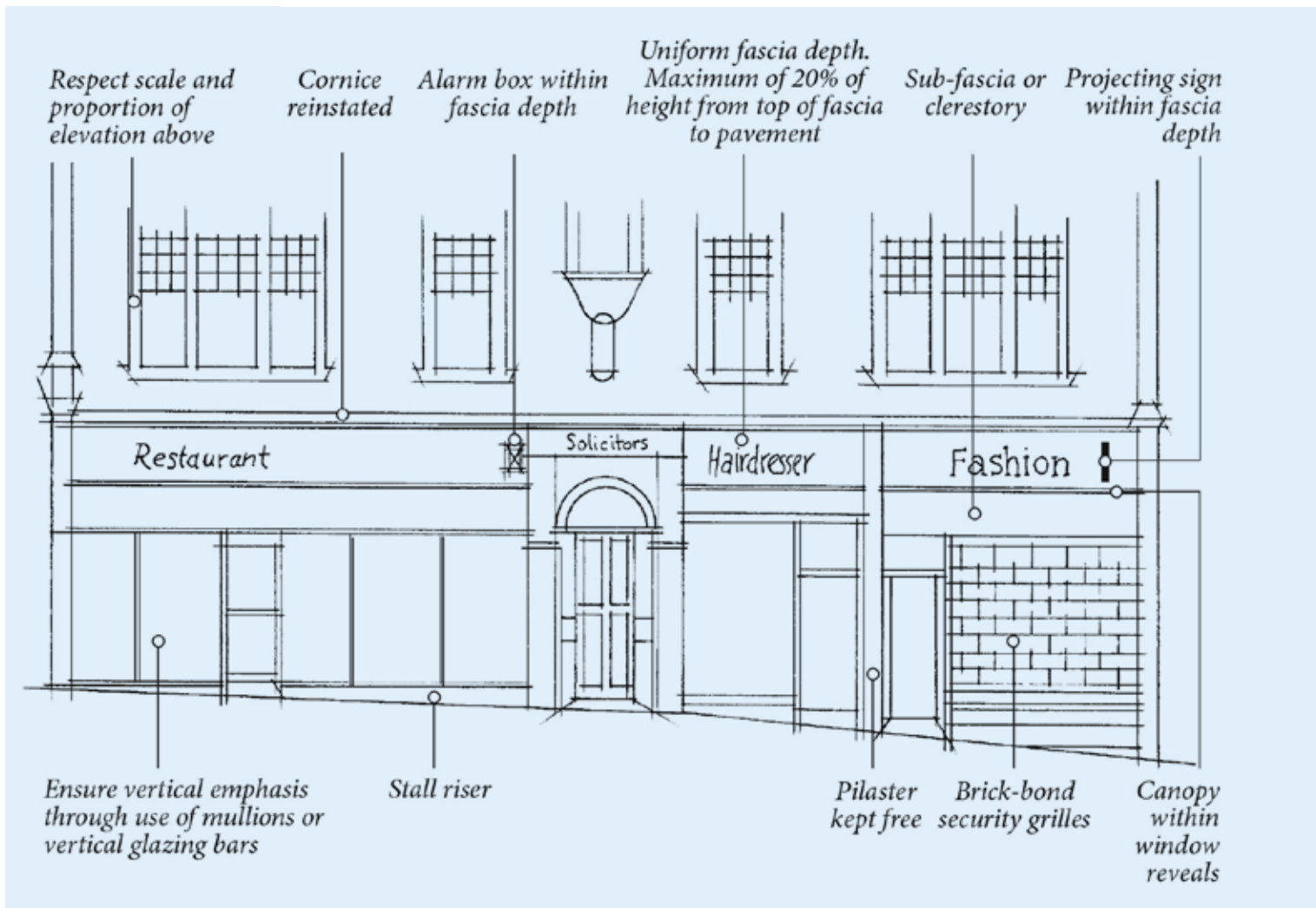
its replacement with a new shopfront will only be permitted where both the following apply:

- The council is satisfied that the design of the new shopfront will not detract from the appearance of the building and surrounding area.
- It is not feasible to adapt or retain the existing frontage.

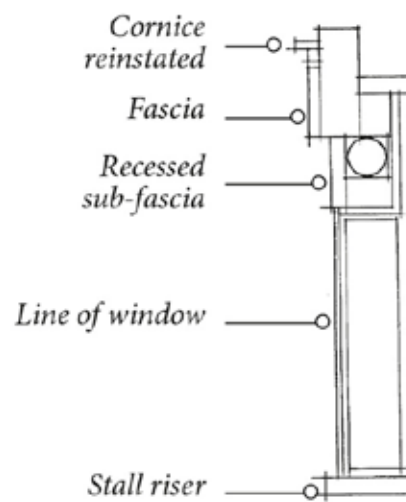
Proposals for shopfronts in the conservation area or on listed buildings will be carefully assessed in order to preserve and enhance their traditional character and appearance. The design should be compatible with the individual style of building and with local design traditions. It should sympathetically incorporate any original features and must always use traditional colours and materials. Garish and fluorescent colours are not considered to be appropriate.

Design Examples

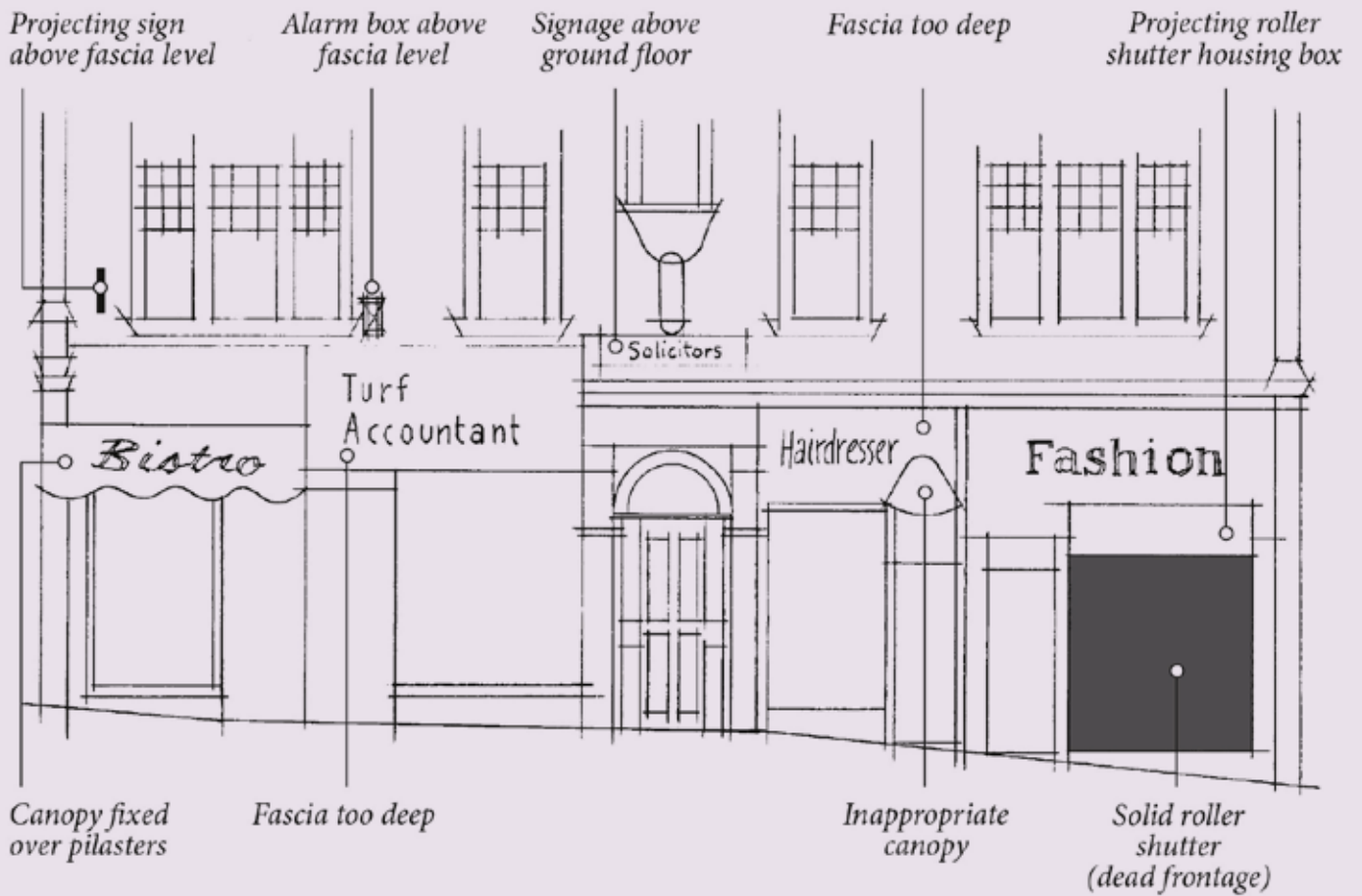
Good design



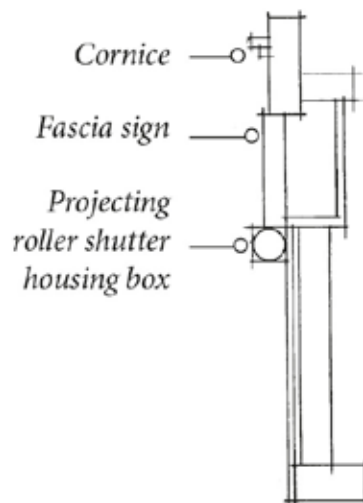
Section through shopfront



Poor design



Section through shopfront



Shopfront design guidelines

Fascias

- Some modern fascias are excessively deep and do not relate to the shopfront design or to adjacent buildings. Where an existing fascia is very deep, it is preferable to remove it and restore it to its original level and depth – the original fascia may be behind.
- In all cases, the maximum fascia depth should not exceed 20% of the total ground floor shop height.
- Fascias should be located directly below the cornice line on traditional street frontages and must never extend above it. In modern buildings, fascias should not extend above the floor level of first floor accommodation.
- If a shop unit extends across two adjacent buildings at different levels, the fascia should be stepped rather than carried through.
- Fascia boards angled downwards are more visible to pedestrians.
- Sub-fascias should be distinct from fascias, preferably by being recessed by use of coloured, opaque glass or by use of timber as infill material.

Pilasters

- Pilasters are vertical columns between shops and help separate one shopfront from another. This gives each shop unit a distinct identity.
- Pilasters should be retained and left as natural stone or painted an appropriate colour. Unity and harmony of appearance should be sought with adjoining properties.
- Tiles are unacceptable for pilasters.
- Pilasters should be kept clear of both fascia and projecting signs.

Stallrisers

- A stallriser is the base of the shopfront and runs from below the shop window to the pavement. It protects the display windows from street level damage.
- In traditional areas, a stallriser should always be included as part of the design of the shopfront. In modern developments, although it is preferable to incorporate a stallriser, glazing may run from the bottom of the fascia down to the pavement.
- Stallrisers vary in size and care should be taken to ensure that they are in proportion to the shopfront as a whole.
- Stallrisers should be finished in hard wearing material resistant to the general wear and tear that these areas experience. They may be finished in stone, panelled timber or smooth render, sympathetic to other materials used on the shopfront.

Windows and doors

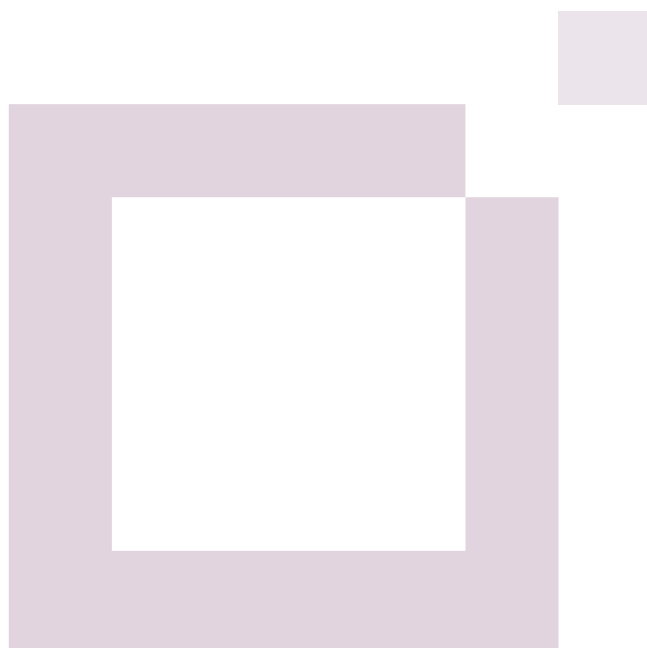
- Window and door proportions should be appropriate to those of the building and adjoining premises in the street. Where large display areas are proposed, they should be divided into traditional vertical proportions by vertical glazing bars or mullions (vertical strips dividing the panes of a window). This adds interest and variety to shopfronts, something which is generally lacking in large undivided areas of glazing.
- Where possible, doors should be recessed to provide visual interest and shelter to a frontage.
- There will be a presumption against the blocking up or infilling of windows where this will create a 'dead frontage'.

Colour and materials

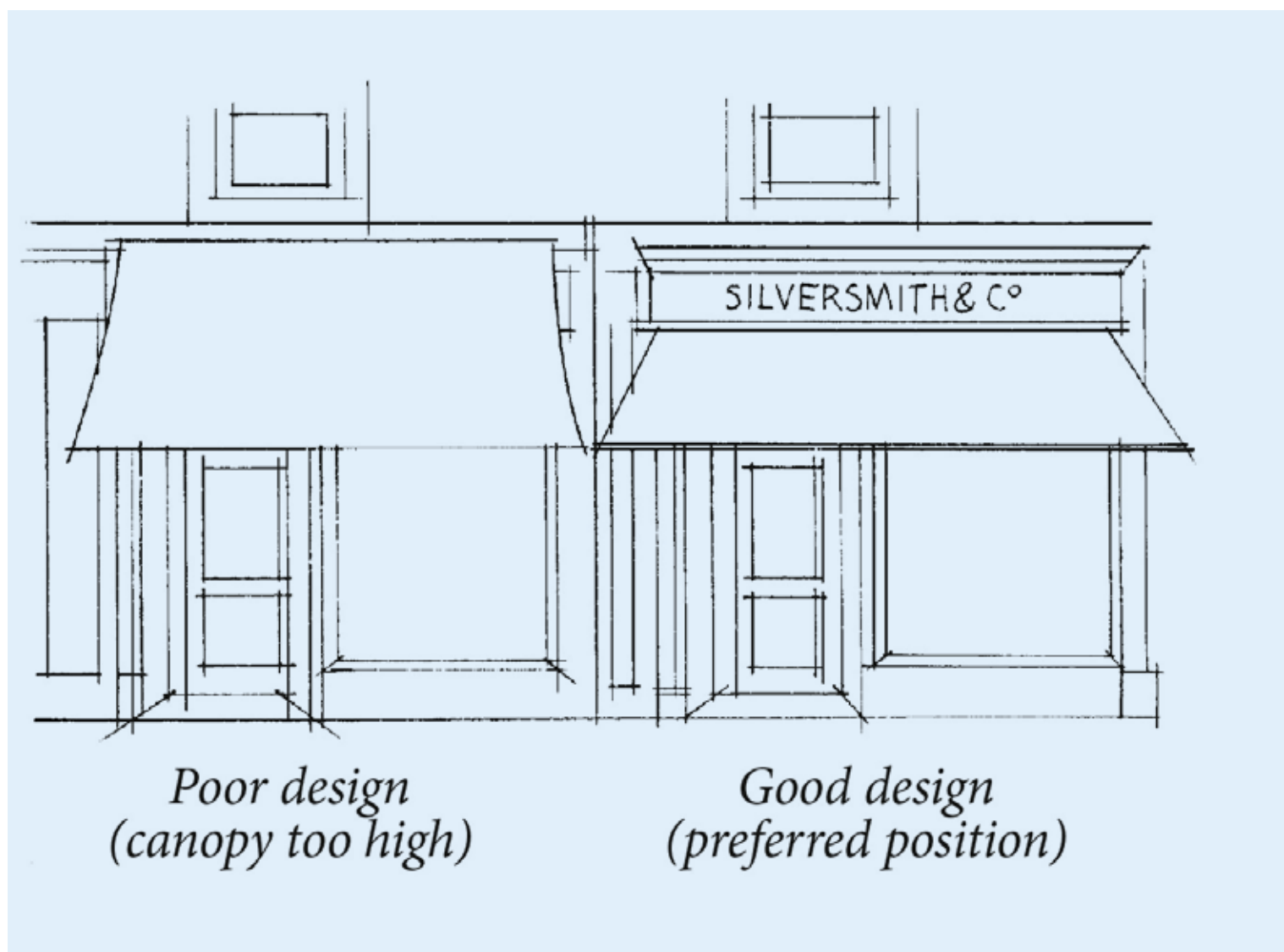
- Materials should be chosen that relate sympathetically with the external materials of the building as a whole. Traditional materials are stone or timber.
- Shopfronts should be finished in one predominant material and colour. Additional details and colours should be kept to a minimum.
- Display areas should be framed and sub-divided using timber or anodised aluminium of a colour and finish compatible with the design and features of the building. In modern buildings, materials will be considered on the individual merits of each case, although matt finishes should be used.
- In buildings where timber-framed shopfronts are still predominant, timber should be used to reinstate a frontage.
- It is preferable to finish the shopfront with dark, gloss paint of traditional colours, rather than using a stained finish.
- There will be a presumption in all cases against the use of mosaic tiling or trattoria-style plaster work.
- In general, the reinstatement of original stonework or suitable stone cladding will be strongly encouraged.

Alarm boxes and emergency power switches

- If required, these should be located so as not to obscure any architectural feature and should be as unobtrusively sited as possible. They should preferably be fitted on the door return or, alternatively, within the depth of the fascia.



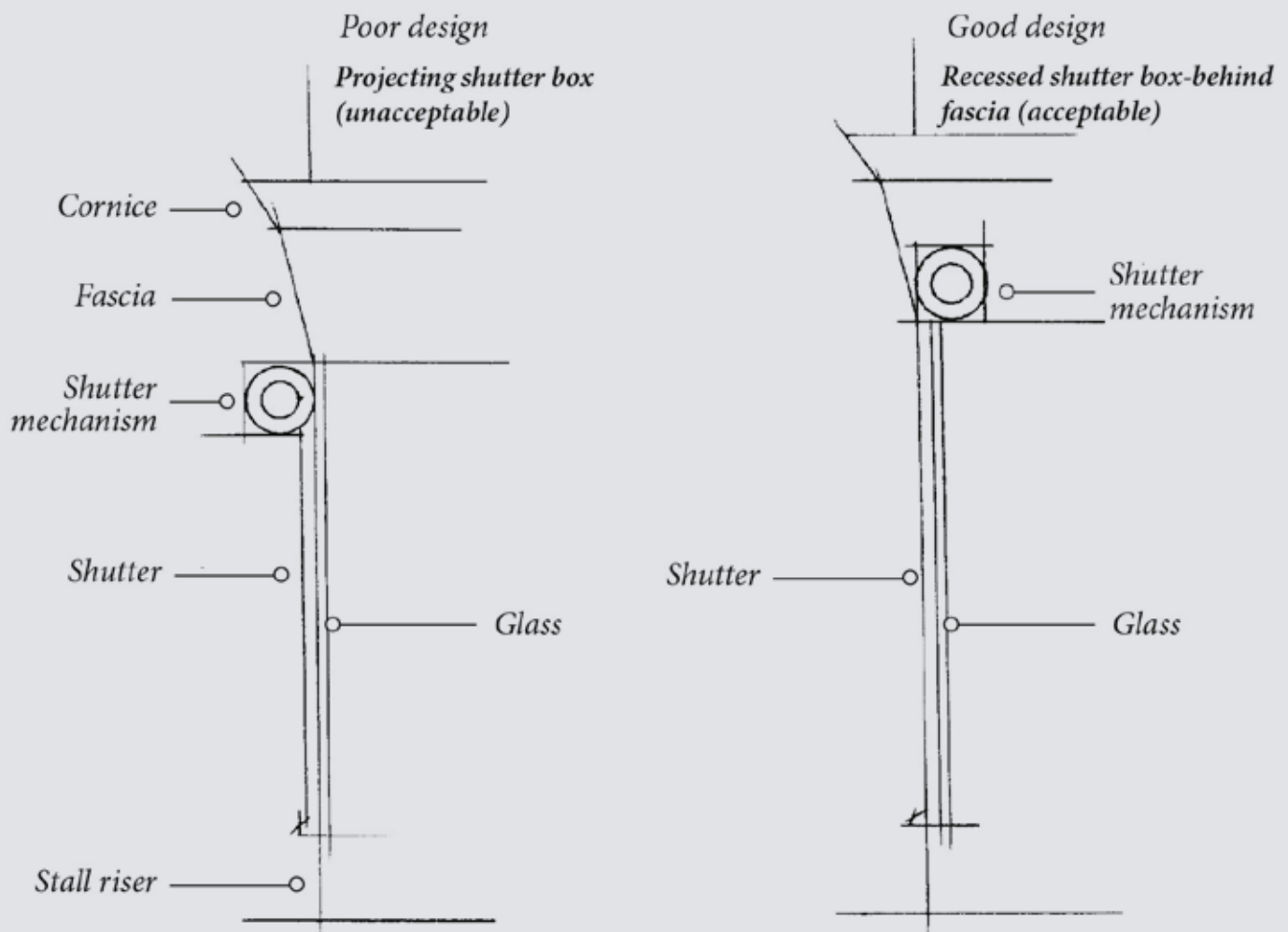
Canopies and awnings



- Traditional retractable awnings or sub-blinds will be acceptable provided that the premises have a traditional frontage and the housing for the awning can be recessed flush with the frontage.
- Awnings should be located directly below the original fascia and should be made from traditional canvas material.
- They should not obscure architectural details nor extend across pilasters.
- Curved Dutch canopies are not traditional features and are therefore considered unacceptable.

Security features

Roller shutter boxes

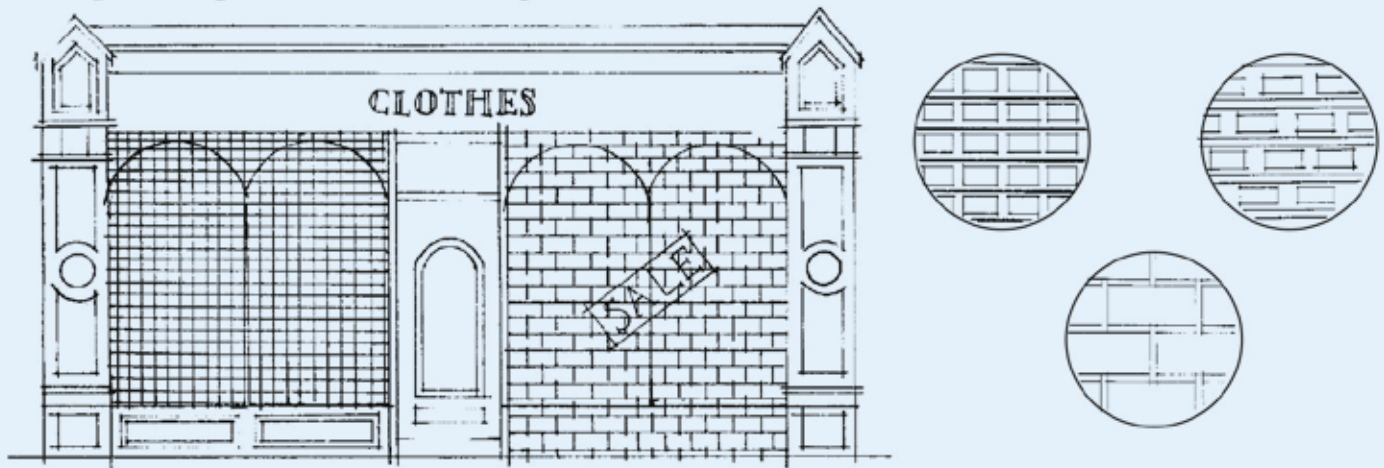


- In all cases, solid roller shutters and projecting roller shutter boxes are unacceptable. Solid shutters have a 'deadening' effect on an area when the shops are closed. They obscure the window display, attract graffiti and have a negative impact on the whole street.
- Where a roller shutter is permitted, the shutter box must be recessed behind the frontage of the property and fitted directly below the lintel or structural steelwork.
- Only in the light of evidence of an exceptionally high security risk which cannot be addressed by non-solid or other reasonable means, will solid roller shutters be considered.

In order to protect the character of listed buildings or properties within the conservation area, the following may be acceptable:

- Demountable mesh grilles (manually placed over windows and doors and padlocked into position). The design, material and colour must be acceptable to the council.
- Laminated glass (planning permission/listed building consent not required)
- Internally mounted non-solid (lattice/brick bond/open weave) shutters placed between the display and the window. The design, material and colour must be acceptable to the council (refer to note below *Acceptable grille/shutter design diagram**)

Acceptable grille/shutter design



*Non-solid shutters should seek to permit the maximum level of light through them in order to ensure that the shop display is visible from the street and to allow adequate illumination of the street at night. This encourages night time window shopping and creates a safer, more attractive environment. They should have a coloured finish which is sympathetic to the shopfront and immediate area, with no bare metal being used. Where external shutters are to be allowed, they should preferably only cover the glazed area of the shopfront and door as appropriate, but not the stallriser or pilasters if a shopfront has these features.

Signs and advertisements

Signs and advertisements are an integral part of commercial streets and properties. However, a balance must be struck between the impact of numerous signs of different character on the appearance of an area, and on the need for premises to advertise themselves.

General design principles

- (i) The design, size and positioning of signs should be appropriate to the individual building and the overall street and should not dominate either of these.
- (ii) The cumulative impact of a number of signs on a property will be assessed to prevent advertisement clutter.
- (iii) Painted lettering or non-illuminated individual letters on timber or matt perspex fascia board or stone frieze is preferable to panel or box signs. The use of reflective perspex fascias will generally be unacceptable.
- (iv) The size of the lettering should be related to the overall size of the fascia in a style appropriate to the shopfront and the building as a whole.
- (v) Each sign should be located across the whole fascia within the pilasters and should not extend over two or more properties.
- (vi) Internally illuminated fascia signs are generally discouraged and are unacceptable on listed buildings or in the conservation area. Internal illumination should be in the form of individually illuminated letters. External illumination should preferably be provided by trough lighting extending the full length of the fascia, rather than by spotlights which can be obtrusive.
- (vii) In some instances, a fascia may not be appropriate. In these cases, consider applying lettering directly to the building or to the display window.

Fascia signs

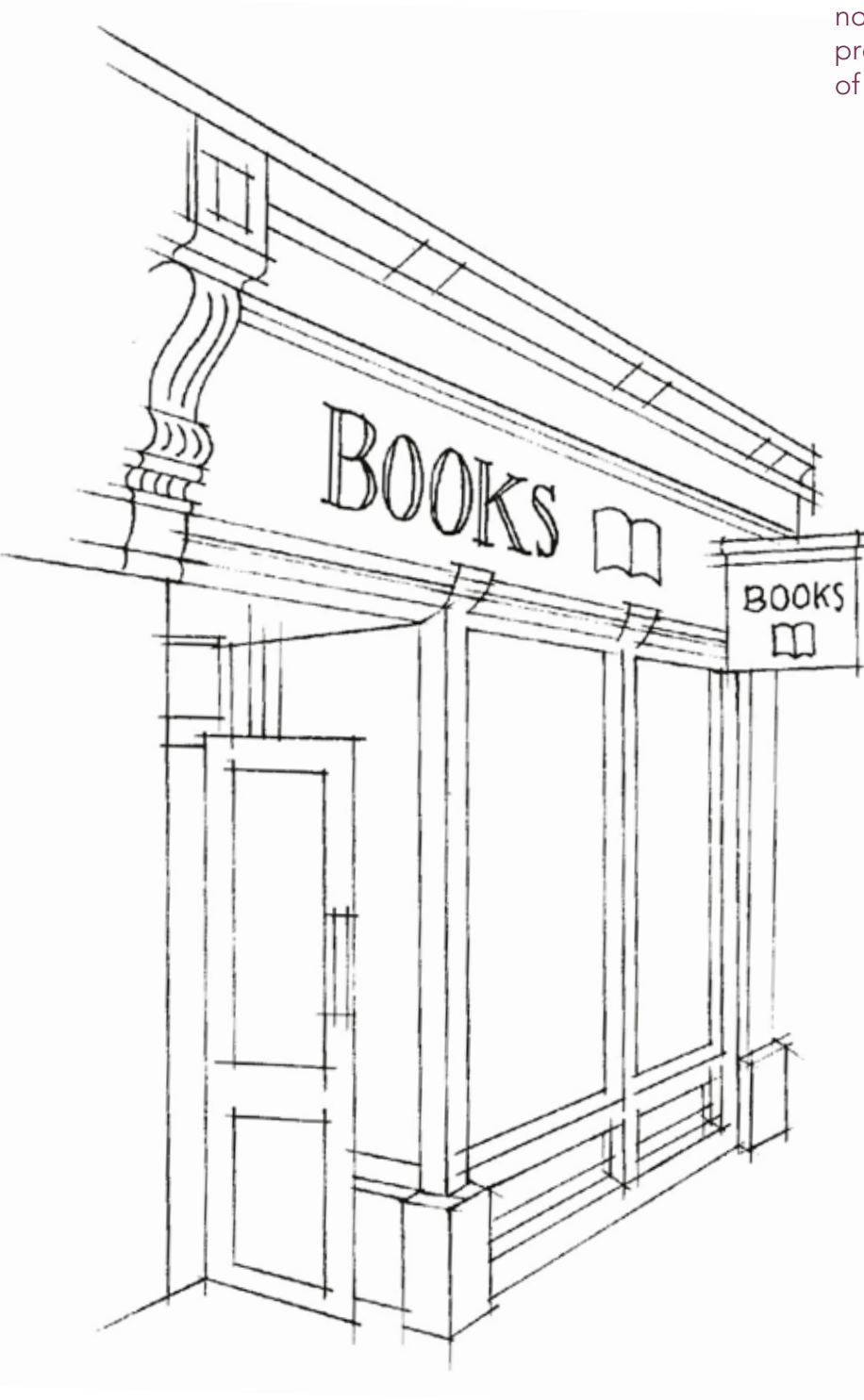
- (i) These should be at the original fascia level with no advertising on any sub-fascia or on pilasters unless an alternative location in keeping with the shopfront's original design and that of the design of the neighbouring signage, is considered to be acceptable.

Upper floor signage

- (i) Signs above ground floor level will generally be unacceptable (including projecting or fascia signs), other than lettering applied directly to windows. This may be supplemented by appropriate signage at ground floor level. Signage for a separate window will be assessed on a site-by-site basis in light of the site's context and on the individual merits of the case.

Projecting signs

- (i) Only one projecting sign per shop frontage will normally be permitted in order to avoid visual clutter.
- (ii) Projecting signs should preferably be non-illuminated or trough lit from above. Internally illuminated projecting signs will be unacceptable on listed buildings or in the conservation area.
- (iii) As a general rule, projecting signs should not exceed 0.5 square metres in area nor project more than 1.0 metre from the face of the building.



What permissions may I need?

A number of different permissions may be required when carrying out works to a property:

- 1. Planning permission** – this would be required for development involving new building work such as the erection of a house extension, porch or garage; ancillary buildings such as sheds and greenhouses; any additions or alterations to a roof; improvements and alterations such as replacement windows, flues and satellite dishes; gates, fences, walls; domestic solar panels, wind turbines and air source heat pumps; the construction of an access ramp; provision of a hard surface within the curtilage of a house; stonecleaning or painting of the exterior of any building and the extension or alteration of a shop, including the installation of roller shutters.
- 2. Listed building consent** – this would be required for any alteration or signage which affects the character of a listed building. This includes both internal and external alterations.
- 3. Advertisement consent** – this may be needed for the replacement or erection of signs or adverts on a property.
Advertisements include any words, letters, signs, boards, notices or any other device (such as flagpoles) used wholly or partly for advertising, announcements or giving directions.
- 4. Conservation area consent** – this would be required for the total or substantial demolition of unlisted buildings in the conservation area (this does not apply to any building with a cubic content less than 115 cubic metres, or any part of such a building; or to any gate, wall, fence or railing which is less than one metre high if it abuts a road, or two metres high in any other case).
- 5. Tree works** – if you want to carry out works to any tree (cut, top, lop or remove) in the conservation area, you must firstly give written notice to Planning and Economic Development. The council then has six weeks to decide whether to make a Tree Preservation Order (TPO). If the council makes a TPO, you will need consent before carrying out any tree work. If the council decides not to make a TPO you will be advised and you can proceed with the works.
- 6. Building warrant** – depending on your proposals, a Building Warrant may be required to ensure that your alterations are structurally acceptable and comply with the Building Regulations.

If you have any queries or seek further advice on any of these matters please contact:

Planning and Economic Development Services

Montrose House
154 Montrose Crescent
Hamilton
ML3 6LB
Phone: 0303 123 1015
Email: planning@southlanarkshire.gov.uk

Glossary of terms

Astragal	Small moulded glazing bar, circular in section, often decorated with a bead and reel enrichment
Brick-bond shutters	Lattice/open weave/slatted style shutters that do not have a solid appearance.
Canopy	A projection or hood over a door or window.
Clerestory (or sub -fascia)	A window (usually narrow) placed in the upper part of the shopfront directly below the fascia. It can provide extra light, ventilation or proportion to a shopfront.
Cornice	Any projecting ornamental moulding that finishes or crowns the top of a building, wall or arch. It separates the ground floor from the floors above.
Dead Frontage	A solid frontage created by having no shop window display or by the use of solid roller shutters
Eaves	The underpart of a sloping roof overhanging a wall
Entablature	The structure which lies horizontally above columns and which is composed of the architrave, frieze and cornice. Essentially the beam which spans between columns
Fascia	A horizontal piece (such as a board) covering the joint between the top of a wall and the projecting eaves; also called fascia board.
Lintels	Horizontal beam of stone, usually bridging a doorway or window opening
Listed (A)	Buildings of national or international importance, either architectural or historic, or fine little-altered examples of some particular period, style or building type
Listed (B)	Buildings of regional or more than local importance, or major examples of some period, style or building type which may have been somewhat altered
Listed (C)	Buildings of local importance, lesser examples of any period, style or building type, whether as originally constructed or as the result of subsequent alteration, simple, well-proportioned traditional buildings, often forming part of a planned group, or grouping well in association with buildings in a higher category

Glossary of terms

Mullion	A vertical post or other upright, dividing a window or other opening into two or more panels. Sometimes only ornamental.
Pilaster	A rectangular column projecting only slightly from a wall. Primarily decorative. Usually separates one shopfront from another.
Skews	Block of stone, set at the top of a wall to finish the eaves of a parapet or coping; also called a skew putt
Stallriser	The area below the shop window which gives protection and visually attaches the shopfront to the ground.
Sub-fascia	Solid horizontal piece (such as board) or glazing (see Clerestory) placed directly below the fascia
Transom	A horizontal bar of stone or wood across the opening of a window or panel
Trough lighting	Usually track-mounted lighting using small reflector bulbs hidden behind a board.

If you need this information in another language or format,
please contact us to discuss how we can best meet your needs.

Phone: 0303 123 1015

Email: equalities@southlanarkshire.gov.uk

www.southlanarkshire.gov.uk

